



WOKINGHAM BOROUGH COUNCIL

A Meeting of the **PLANNING COMMITTEE** will be held virtually on **WEDNESDAY 10 MARCH 2021 AT 7.00 PM**

Susan Parsonage
Chief Executive
Published on 2 March 2021

Note: The Council has made arrangements under the Coronavirus Act 2020 to hold this meeting virtually via Microsoft Teams. The meeting can be watched live using the following link: <https://youtu.be/esSTUUcHJ4k>

This meeting will be filmed for inclusion on the Council's website.

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WOKINGHAM BOROUGH COUNCIL

Our Vision

A great place to live, learn, work and grow and a great place to do business

Enriching Lives

- Champion outstanding education and enable our children and young people to achieve their full potential, regardless of their background.
- Support our residents to lead happy, healthy lives and provide access to good leisure facilities to complement an active lifestyle.
- Engage and involve our communities through arts and culture and create a sense of identity which people feel part of.
- Support growth in our local economy and help to build business.

Safe, Strong, Communities

- Protect and safeguard our children, young and vulnerable people.
- Offer quality care and support, at the right time, to prevent the need for long term care.
- Nurture communities and help them to thrive.
- Ensure our borough and communities remain safe for all.

A Clean and Green Borough

- Do all we can to become carbon neutral and sustainable for the future.
- Protect our borough, keep it clean and enhance our green areas.
- Reduce our waste, improve biodiversity and increase recycling.
- Connect our parks and open spaces with green cycleways.

Right Homes, Right Places

- Offer quality, affordable, sustainable homes fit for the future.
- Build our fair share of housing with the right infrastructure to support and enable our borough to grow.
- Protect our unique places and preserve our natural environment.
- Help with your housing needs and support people to live independently in their own homes.

Keeping the Borough Moving

- Maintain and improve our roads, footpaths and cycleways.
- Tackle traffic congestion, minimise delays and disruptions.
- Enable safe and sustainable travel around the borough with good transport infrastructure.
- Promote healthy alternative travel options and support our partners to offer affordable, accessible public transport with good network links.

Changing the Way We Work for You

- Be relentlessly customer focussed.
- Work with our partners to provide efficient, effective, joined up services which are focussed around you.
- Communicate better with you, owning issues, updating on progress and responding appropriately as well as promoting what is happening in our Borough.
- Drive innovative digital ways of working that will connect our communities, businesses and customers to our services in a way that suits their needs.

MEMBERSHIP OF THE PLANNING COMMITTEE

Councillors

Simon Weeks (Chairman)	Chris Bowring (Vice-Chairman)	Stephen Conway
Gary Cowan	Carl Doran	Pauline Jorgensen
Abdul Loyes	Andrew Mickleburgh	Malcolm Richards
Angus Ross	Rachelle Shepherd-DuBey	

ITEM NO.	WARD	SUBJECT	PAGE NO.
59.		APOLOGIES To receive any apologies for absence.	
60.		MINUTES OF PREVIOUS MEETING To confirm the Minutes of the Meeting held on 10 February 2021.	5 - 14
61.		DECLARATION OF INTEREST To receive any declaration of interest	
62.		APPLICATIONS TO BE DEFERRED AND WITHDRAWN ITEMS To consider any recommendations to defer applications from the schedule and to note any applications that may have been withdrawn.	
63.	Coronation	APPLICATION NO.203456 - WAINGELS COLLEGE, WAINGELS ROAD, WOODLEY Recommendation: Conditional approval	15 - 58
64.	Swallowfield	APPLICATION NO.203534 - LODDON COURT, LAMBS LANE, SWALLOWFIELD Recommendation: Conditional approval	59 - 82
65.	Bulmershe and Whitegates	APPLICATION NO.203514 - 34 HILLTOP ROAD, EARLEY Recommendation: Conditional approval	83 - 106
66.	South Lake	APPLICATION NO.210022 - 33 COTTESMORE ROAD, WOODLEY Recommendation: Conditional approval	107 - 124

Any other items which the Chairman decides are urgent

A Supplementary Agenda will be issued by the Chief Executive if there are any other items to consider under this heading.

GLOSSARY OF TERMS

The following abbreviations were used in the above Index and in reports.

C/A	Conditional Approval (grant planning permission)
CIL	Community Infrastructure Levy
R	Refuse (planning permission)
LB	(application for) Listed Building Consent
S106	Section 106 legal agreement between Council and applicant in accordance with the Town and Country Planning Act 1990
F	(application for) Full Planning Permission
MU	Members' Update circulated at the meeting
RM	Reserved Matters not approved when Outline Permission previously granted
VAR	Variation of a condition/conditions attached to a previous approval
PS	Performance Statistic Code for the Planning Application
Category	

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**MINUTES OF A VIRTUAL MEETING OF THE
PLANNING COMMITTEE
HELD ON 10 FEBRUARY 2021 FROM 7.00 PM TO 9.55 PM**

Committee Members Present

Councillors: Simon Weeks (Chairman), Chris Bowring (Vice-Chairman), Stephen Conway, Gary Cowan, Carl Doran, Pauline Jorgensen, Abdul Loyes, Andrew Mickelburgh, Malcolm Richards, Angus Ross and Rachelle Shepherd-DuBey

Councillors Present and Speaking

Councillors: Prue Bray, Lindsay Ferris, Paul Fishwick, John Halsall and Wayne Smith

Officers Present

Judy Kelly, Highways Development Manager
Sean O'Connor, Head of Legal
Justin Turvey, Operational Manager – Development Management
Callum Wernham, Democratic & Electoral Services Specialist

Case Officers Present

Andrew Fletcher
Senjuti Manna
Kieran Neumann
Simon Taylor

51. APOLOGIES

There were no apologies for absence.

52. MINUTES OF PREVIOUS MEETINGS

The Minutes of the meeting of the Committee held on 9 December 2020, and the Minutes of the extraordinary meeting of the Committee held on 16 December 2020 were confirmed as a correct record and would be signed by the Chairman at a later date.

Relating to a comment within the minutes, Gary Cowan queried whether a Committee Member should be present for the entirety of the consideration of an item. Sean O'Connor, Head of Legal, clarified that the Council's Constitution set out that Committee Members should be present for the entirety of an item, including all presentations, representations and discussions.

53. DECLARATION OF INTEREST

Pauline Jorgensen made a comment relating to agenda item 55, on the grounds that she had been the Executive Member with responsibility for libraries 2 years ago. Pauline stated that she no longer had libraries within her Executive portfolio, and would come into this meeting with an open mind and listen to all presentations, representations and discussions prior to coming to a decision. Pauline added that she would therefore take part in both the discussion and the vote on this item.

Stephen Conway made a comment relating to agenda item 55, on the grounds that he had campaigned to secure a new library in Twyford and was therefore an advocate for the provision of one. Stephen added that his commitment to the provision of a new library in Twyford did not constitute either a personal or financial interest, and he would assess the application based on its planning merits. Stephen added that he would therefore take part in both the discussion and the vote on this item.

54. APPLICATIONS TO BE DEFERRED AND WITHDRAWN ITEMS

No applications were recommended for deferral, or withdrawn.

55. PATH CREATION ORDER AT JUBILEE AVENUE

Proposal: Path creation order

Applicant: Wokingham Borough Council

The Committee received a report about this application, set out in agenda pages 29 to 106.

The Committee were advised that there were no Members' Updates.

Rachelle Shepherd-Dubey commented that she hoped that officers would ensure that no Jubilee Oaks were damaged during the creation of this section of the path. Simon Weeks commented that the proposals included a no dig approach and the use of permeable materials.

Angus Ross queried what criteria the order could be challenged on, during the next consultation, should the order be made on the evening. Andrew Fletcher, case officer, stated that an interested party would have to make a new representation which showed a legal interest in the land.

Malcolm Richards queried what process would follow should someone claim a legal interest in the land. Andrew Fletcher stated that should the order be made, a 6 week period (which would be advertised) would follow to allow interested parties to come forward. After this period, and should no objections be received, there would be a further 6 month period for individuals to challenge the legal processes relating to the making of the order.

Pauline Jorgensen queried whether this path would include the Gear Change guidance relating to separation of pedestrians and cyclists. Andrew Fletcher stated that greenways are off-road routes and comply with the guidance in that respect, as the new guidance discourages shared footway/cycleways, but outside of this the Greenways were not usually designed to segregated users. Highways were aware of the new standards and would comply where possible. Pauline Jorgensen requested that the following be included within the minutes: When designing the route, officers endeavour to meet as many of the Gear Change objectives including the separation of cycle ways and footways given the constraints of the site.

Gary Cowan stated that the original consultation was thorough and well presented, and suggested that officers may wish to consider developing an action plan to address the points already raised within the initial consultation. Gary added that it would be useful to present a reference number alongside such orders to allow easy reference in the future.

The Committee were unanimous in their support for this scheme, as it provided a linked greenway route to allow for recreation and exercise.

RESOLVED That the order be made subject to the recommendations set out in agenda pages 29 to 30.

56. APPLICATION NO.201022 - OLD SCHOOL HALL, HIGH STREET, TWYFORD

Proposal: Full application for the proposed restoration and conversion of existing building into a library, erection of a single storey lobby/link area and a two storey extension to provide multi-purpose community facilities including a café, plus associated landscaping and demolition of existing public toilets (phased)

Applicant: Wokingham Borough Council (WBC)

The Committee received a report about this application, set out in agenda pages 107 to 158.

The Committee were advised that there were no Members' Updates.

Wayne Smith, on behalf of the applicant, spoke in support of the application. Wayne stated that it had been a long journey to get to this stage, and he hoped that the Committee would approve this application. Wayne wished to thank the case officer Simon Taylor, WBC officer Mark Redfearn, and David Turner from the Polehampton Trust for all of their help and support in getting the application to this stage.

John Halsall, on behalf of the applicant, spoke in support of the application. John stated that he was delighted to support the application, which had been on a long but highly enjoyable journey. John wished to thank David Turner, James Fort, John Jarvis, Andrew Cardy and Wayne Smith for their help and support in the development of this project and application. John added that this project would be of no financial benefit to the Borough Council, but it would be a community asset for the village. John extended his thanks to both the Twyford Borough and Parish Councillors for their support.

Lindsay Ferris, Ward Member, spoke in support of the application. Lindsay wished to thank David Turner, who had been instrumental in ensuring that this project progressed forwards. Lindsay stated that he fully supported this application, as it was a much needed community facility for Twyford, whilst retaining and using a Grade 2 listed building. Lindsay queried whether some of the nearby car parking be designated solely for use of the library, and was the replacement of the toilets in phase two planned and included within this application.

Stephen Conway stated that he was pleased to see this application come forward, and pointed out that this application would renew a previous consent that was granted to the Polehampton Trust in 2016, with the new applicant being WBC. Stephen stated that the listed building had been used as a temporary library before, and had been given outline consent for a library in the past. Stephen added that the proposals would cause minor harm to the listed building, disruption of roosting bats, and the loss of a sycamore tree, however the community benefits of the proposals outweighed the negatives. Stephen stated that this had been a community aspiration for 20 years, and he could personally testify for the strong sense of community support for a new library in Twyford.

Andrew Mickleburgh stated that the registered speakers' sentiments reflected the merits of this project and the people that made it happen. Andrew queried whether the existing toilet block was still in use, and whether an informative could be added asking that infrastructure be installed to allow the easy installation of additional electric vehicle charging points in the future. Simon Taylor, case officer, stated that the toilets were due to be refurbished during stage one and then demolished in stage two. Regarding the car parking, Simon stated that

this was situated outside of the red line boundary and therefore had to be dealt with separately.

Pauline Jorgensen queried what might happen to the old library site. Stephen Conway suggested that it may be a possibility that this site could be demolished to provide additional car parking, however this was outside of the scope of this application.

Gary Cowan queried why the Environment Agency were not in the list of consultees. Justin Turvey, Operational Manager – Development Management, stated that the Environment Agency were not a statutory consultee for this application. Gary stated that he did not like the loss of the sycamore tree, however on balance the benefits of the scheme outweighed this.

Angus Ross queried whether informative 10, relating to listed building consent, was part of this planning application or a separate issue. Simon Taylor stated that the listed building consent had been separately submitted and would be determined alongside this application under delegated powers.

Chris Bowring stated that there would be some damage to the listed building, and suggested that listed building consent should possibly come to the Committee for future applications.

Carl Doran concurred with comments made by Simon Weeks, in that the Committee may have looked on this application differently if it was for a commercial or residential development, however the community benefits outweighed the harm in this instance.

The Committee gave their thanks to all those who enabled the development of the proposals and the project as a whole.

RESOLVED That application 201022 be approved, subject to conditions and informatives as set out in agenda pages 108 to 122.

57. APPLICATION NO.203439 - 36 AND 39-48 GROVELANDS PARK, WINNERSH, WOKINGHAM, RG41 5LD

Proposal: Full application for the proposed removal of 12 no. existing mobile homes and the erection of 11 no. two storey pre-fabricated temporary accommodation units consisting of one self-contained two- bedroom housing unit per floor (plots 39-48) and 1 no. single storey mobile house (plot 36).

Applicant: Wokingham Borough Council (WBC) Housing Services

The Committee considered a report about this application, set out in agenda pages 159 to 192.

The Committee were advised that the Members' Update included:

- Rewording of condition 13;
- Additional condition 18 to secure electric vehicle charging details;
- Receipt of consultation response from the Royal Berkshire Fire and Rescue Service, raising no objection;
- Reference to comments from Prue Bray, Ward Member.

Clinton Taylor, Winnersh Parish Council, spoke in objection to the application. Clinton stated that the proposals were to replace existing one storey units with two storey units, which would be out of keeping with the area. Clinton added that the existing sewerage provision was inadequate to accommodate the proposed two storey units. Clinton stated that the Parish Council would welcome the old units to be replaced with suitable one storey units.

Simon Price, on behalf of the applicant, spoke in support of the application. Simon stated that this was an important improvement project to supply good quality emergency accommodation for families within the Borough. Simon stated that the construction timings for the project had been much reduced as part of this application. Simon stated that the two storey aspect of the application was a point of contention, however it allowed for additional accommodation for families in need of emergency housing. Simon concluded that the proposals would reduce the need for bed and breakfast use to house families in need of emergency housing.

Prue Bray, Ward Member, spoke in support of the application. Prue stated that there was a pressing need for temporary accommodation within the Borough, and the proposals included better quality accommodation than the existing poorly insulated units. Prue added that the two storey nature of the proposals were a concern, however she felt that these had been addressed within the officer report. Prue stated that the windows mostly faced away from existing units, and in instances where this was not the case the windows were obscure glazed. Prue concluded by stating that the sewerage concerns had been taken into account, and concerns regarding antisocial behaviour already existed prior to this application.

Paul Fishwick, Ward Member, spoke in objection to the application. Paul stated that he did not object to the replacement of the existing one storey units with new one storey units, however there was inadequate screening to accommodate two storey units, which would be out of keeping with the character of the area. Paul was of the opinion that the proposals would be akin to a large and insensitive wall within the existing development. Paul stated that the sewerage system was already failing within the development, and the proposals would only make this issue worse.

Rachelle Shepherd-DuBey stated that she had no issue with the provision of new single storey units within the development. Rachelle added that the biggest issue with the proposals was the inadequate sewerage provision. The two storey nature of the units would lead to massing and overlooking, and would be out of keeping with the character of the area. Rachelle stated that the site consisted of single storey units, and it should be kept that way. Rachelle was of the opinion that the application should be refused.

Andrew Mickleburgh stated that he was in favour of replacing the existing poor quality units. Andrew queried whether the total proposed parking spaces of 23 was greater than the existing provision, queried where units 39 to 43 would park their cars and whether they would share any spaces, queried how sewerage issues had been addressed, and whether there was any specific exemption for this type of accommodation relating to amenity space requirements. Senjuti Manna, case officer, stated that Highways had suggested only 16 car parking spaces would be required to meet standards, which would lead to a better layout of spaces. Units 39 to 43 were not included within the plans. Justin Turvey, Operational Manager – Development Management, stated that although sewerage was outside of the scope of this application, several benefits relating to sewerage would be realised as part of this application. Relating to amenity requirements, Senjuti Manna stated

that a strict occupancy period of 12 months would be applied, as it was not the intention for this accommodation to be used by a family on a permanent basis.

Andrew Mickleburgh stated that he was concerned that internal space requirements were not being met. Andrew queried whether any consultation had been worked on relating to whether the proposals could cause mental health issues for occupants, and queried where the fire assembly point would be located, and whether it would be compliant, given the density of the site. Simon Weeks stated that given the current option for emergency occupation could include stays in small bed and breakfast facilities for families, the proposals were likely to be improvements for the mental wellbeing of any occupants. Justin Turvey stated that the fire assembly point was not a planning consideration, however it was likely that the proposed units would follow the existing site plan.

Carl Doran stated that he totally accepted that the proposals would be an improvement over bed and breakfast accommodation, however he had concerns regarding outdoor amenity space provision given that many of the users of the proposed units would have young children. Carl sought clarification as to what constituted a modular design and passive fire protection. Senjuti Manna stated that the proposals included 'misterters', a more sophisticated form of sprinklers. Senjuti added that the walls were fire resistant which meant that the six meter separation gap was not necessary everywhere. Senjuti stated that there was a field to the south of the site, and whilst immediate outdoor amenity space was limited the accommodation would only be used on a temporary basis.

Abdul Loyes that he was supportive of the proposals, and stated that flooding issues had been addressed as he knew the area quite well.

Pauline Jorgensen queried where potential overlooking would occur, as it was not clear from the plans. Senjuti Manna stated that there had been concerns that the landing area of the external staircase could be used as an external balcony. Senjuti added that to minimise overlooking, a condition is used to secure privacy screening for the external staircase landing so that even if these were used as external balconies, no overlooking would occur.

Malcolm Richards queried whether the units would have flat roofs, queried whether the outside areas would be illuminated, and queried whether any of the proposed spaces would be for disabled use. Senjuti Manna confirmed that the roofs of the units would be flat. Senjuti added that the roads had existing street lamps, and each unit would have a small motion detected external light. Senjuti stated that the parking spaces had been changed from 23 to 16, and the detailed parking plan would be approved prior to the occupation of the units.

Malcolm Richards queried whether there was a communal depot for waste on the site. Senjuti Manna confirmed that each unit had a bin storage and drying yard at the rear of each plot.

Gary Cowan was of the opinion that the motion sensor lights could become a nuisance, and felt that the proposals were better than the existing provision. Gary was of the opinion that the proposals were of a dreadful appearance, would not fit into their surroundings, and would let people down and could create more issues going forwards. Gary stated that he had an open mind regarding whether to approve this application.

Gary Cowan queried why the Environment Agency had not been consulted on this application. Senjuti Manna clarified that most of the site was in flood zone one, and therefore the Environment Agency did not need to be consulted unless there was a critical drainage issue. In addition, a flood risk assessment had been submitted and agreed.

Stephen Conway stated that this was a difficult application to determine, as there was a great need for more temporary accommodation within the Borough to help people, however this needed to be balanced against the impact on existing residents. Stephen was of the opinion that the proposals were out of keeping with the existing character of the area, however the need for the units may outweigh the negatives, although there was a duty to protect the existing visual amenity for residents such as through screening.

Chris Bowring queried whether the proposed units could be considered as mobile homes, and queried whether a temporary approval could be granted to assess whether screening and other mitigation was acceptable. Senjuti Manna stated that as the proposed units were two storeys in height, they could not be mobile homes by definition. Senjuti added that they were classified as two storey pre-fabricated units, and would require a change of use from mobile homes to residential, which had been assessed as not causing harm to the area. Regarding the temporary approval query, Simon Price commented that the scheme had been based on double stacking units to take advantage of economies of scale and value for money. As it was in effect a permanent structure, Simon was of the opinion that a temporary grant of planning permission would not be suitable. Chris Bowring stated that subject to the provision of adequate screening, he would be inclined to approve the application on balance.

Simon Weeks queried the space requirement relationship between caravans and permanent accommodation. Senjuti Manna stated that there was a requirement for a 6m side to side separation between caravans. For C3 usage, a 12m front to side distance was set out within the guidelines. The proposals fell slightly short of the 12m distance, however the units would only be used on a temporary basis and the boundaries would be screened via high hedging.

Stephen Conway queried whether the proposed screening was enough to break up the proposed bulk and massing. Senjuti Manna confirmed that the landscaping officer was happy with the proposals.

Rachelle Shepherd-DuBey raised concern that this could encourage other units on the site to apply for two storey permission. In addition, Rachelle was of the opinion that the proposals were out of keeping with the character of the area, and would change the character of the area.

Rachelle Shepherd-DuBey proposed that the application be refused, on the grounds that it was out of keeping with the character of the local area and would constitute to a loss of amenity for existing residents. This was seconded by Gary Cowan and upon being put to the vote the motion fell.

Stephen Conway proposed an additional informative to encourage the applicant to provide additional landscaping in order to achieve greater screening. This proposal was carried by the Committee and added to the list of informatives.

RESOLVED That application number 203439 be approved, subject to conditions and informatives as set out in agenda pages 160 to 167, reworded condition 13 and additional

condition 18 as set out in the Members' Update, and additional informative relating to additional landscaping as resolved by the Committee.

58. APPLICATION NO.202106 - PADDICKS PATCH, WAINGLES ROAD, CHARVIL, RG10 0UA

Proposal: Full Planning application for the proposed erection of new meeting hall following demolition of existing meeting hall, relocation of three metal storage containers, plus car park improvements with the installation of a cycle stand.

Applicant: Mr Donald MacDonald, Loddon District Scouts

The Committee considered a report about this application, set out in agenda pages 193 to 216.

The Committee were advised that the Members' Update included:

- Amended condition 6;
- Updated summary information related to agenda page 201.

Gary Cowan queried why pictures of the site were not included within the agenda documentation, and asked that this be improved in the future. Gary stated that around 17 trees were due to be removed on the site. Gary added that 57 trees were due to be planted on site, although if they were juvenile specimens then they would not be adequate. Gary was of the opinion that tree replacement proposals should be adequate for each specific planning application, and not draw on trees planted in other areas.

Pauline Jorgensen queried how the landscaping would be managed against the road. Senjuti Manna, case officer, stated that she could confirm specific details with the landscape officer, however the trees along the roads were being retained, however it was not clear on the plan.

Stephen Conway stated that subject to the provision of adequate screening and sufficient tree planting, he would support this application.

Andrew Mickleburgh queried what percentage of biodiversity net gain would be achieved as part of this application, and queried whether two informatives might be added, asking for increased secure cycle storage and suggesting that the applicant explores opportunities to secure funding for solar panel provision. Simon Weeks stated that as a heavily wooded site, solar panels may not be effective, however there would be no harm with wither informative being added. Senjuti Manna stated that there was a standard DEFRA method used to calculate biodiversity net gain, and once the applicant came forward with a discharge of conditions application the Council's ecology officer would give their input.

Malcolm Richards sought clarification regarding SUDs on the site. Senjuti Manna stated that the site had existing cess pits, which was not currently connected to the Thames Water system, however the proposed building would be connected to the system. The Council's drainage officer had requested further details regarding SUDs and how the property would connect to the Thames Water system.

Carl Doran commented that there was a good replacement rate of trees on the site, however the replacement trees would be juvenile and therefore smaller. Simon Weeks

commented that the trees due to be removed were of wither C or U categorisation, meaning they were, in general, trees of poor quality or health.

Andrew Mickleburgh proposed that two informatives be added, the first of which suggesting that the applicant provide additional on-site secure cycle storage, and the second suggesting that the applicant explores opportunities to secure funding for solar panel provision. These informatives were agreed by the Committee and added to the list of informatives.

RESOLVED That application number 202106 be approved, subject to conditions and informatives as set out in agenda pages 194 to 200, amended condition 6 as set out in the Members' Update, and additional informatives relating to secure cycle storage and solar panels as resolved by the Committee.

59. APPLICATION NO.203344 - HIGHWOOD BUNGALOW, FAIRWATER DRIVE, WOODLEY, RG5 3JE

Proposal: Full application for a change of use from residential dwelling (Class C3(b)) to Residential institution/nursing home (C2), including a single storey side extension following demolition of the existing carport.

Applicant: Wokingham Borough Council (WBC)

The Committee considered a report about this application, set out in agenda pages 217 to 234.

The Committee were advised that there were no Members' Updates.

Gary Cowan was of the opinion that the agenda documentation could be improved, including the addition of additional pictures of the existing site. Gary queried how many vulnerable adults would be on the site and what their ages would be, and queried what the car parking facilities were on the site. Justin Turvey, Operational Manager – Development Management, stated that the age of the occupants was not a planning consideration. Kieran Neumann, case officers, stated that there would be two parking spaces. Gary Cowan wished for the applicant to take note of the proximity of the site to a school.

A number of Members commented that this application was a community asset and would benefit some of the most vulnerable residents in the Borough.

RESOLVED That application number 203344 be approved, subject to conditions and informative as set out in agenda pages 218 to 219.

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Agenda Item 63.

Application Number	Expiry Date	Parish	Ward
203456	5 April 2021	Woodley	Coronation

Applicant	Mr John O'Keeffe
Site Address	Waingels College, Waingels Road, Woodley RG5 4RF
Proposal	Full planning application for the proposed construction of a 3G synthetic pitch consisting of sports fencing, LED floodlights, storage container, spectator area and pedestrian access
Type	Full
Officer	Simon Taylor
Reason for determination by committee	Major application (>1 ha)

FOR CONSIDERATION BY	Planning Committee on Wednesday 10 March 2021
REPORT PREPARED BY	Assistant Director – Place

SUMMARY

Waingels College is a co-educational comprehensive secondary academy school for 1,300 students on Waingels Road on the north eastern edge of Woodley. The school was redeveloped following the grant of planning permission F/2008/1844.

The proposal seeks to install a full size (100m x 64m) artificial grass football pitch (AGP) for all weather use that is available for use during school hours as well as after-hours community use up to 10pm on weekdays, 9pm on Saturdays and 6pm on Sundays and bank holidays. It includes six x 15m high floodlights, 4.5m high perimeter fencing, a storage unit, access paths and a 2.5m high bund to its eastern end. The existing changing facilities and car park within the school campus will be used.

A similar multi-use games area (MUGA) for 11-a-side football was approved to the south west closer to the school buildings (planning application 173584) but there is no longer any intention to construct this facility and the permission expires 11 April 2021. A smaller floodlit MUGA immediately to its east with the equivalent size of a tennis court and 6 x 10m high floodlights (planning application 163217) was constructed in 2017. This MUGA is limited by condition for use until 10pm.

The pitch and the wider playing fields are within designated countryside but there is a collection of residential properties opposite the pitch in Waingels Road and residential development within the development limits adjoining the western boundary of the school in Copse Mead and Denmark Avenue.

Concerns have been raised by Charvil and Woodley Parish Councils and from two residents in Waingels Road. The primary issues are light spill, noise disturbance, ecological harm to bats and birds, traffic and safety impacts and increased drainage upon the limited local network.

The application has been reviewed by internal and external consultees, including Sport England. There is no in principle objection to the proposal, subject to conditions relating to the use of the facility, including the preparation of a Management and Maintenance Scheme and Community Use Agreement (Conditions 10-11). Additional landscaping and grassland habitat is required as a biodiversity net gain in Condition 9. The hours of use of

the floodlights have been curtailed during the week to 9:15pm to be consistent with the 2017 approval (Condition 14) as well as to protect foraging and commuting bats.

PLANNING STATUS

- Countryside
- Opposite Ancient Woodland (TPO protected)
- Opposite Local Wildlife Site (Norris' Copse Bird Sanctuary)
- Bat consultation zone
- Flood Zone 1
- Nitrate vulnerable zone (groundwater)
- Heathrow Aerodrome wind turbine safeguarding zone
- Sand and gravel extraction consultation zone
- Radon affected area
- Landfill gas consultation area
- WBC owned land
- Non-classified road
- Adopted highway

RECOMMENDATION

That the committee authorise the GRANT OF PLANNING PERMISSION subject to the following:

Conditions

1. Timescale

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: In pursuance of s.91 of the Town and Country Planning Act 1990 (as amended by s.51 of the Planning and Compulsory Purchase Act 2004).

2. Approved Details

This permission is in respect of the drawing numbered MCA-MUK2392-08 Rev C, dated 7 October 2020 and received by the local planning authority on 6 January 2021, and MCA-MUK2392-42 Rev A, dated 1 February 2020 and received 25 February 2021 and the following plans all received on 11 December 2021 and numbered:

- MCA-MUK2392-02 Rev F, MCA-MUK2392-04 Rev F, MCA-MUK2392-06 and MCA-MUK2392-07 Rev E, all dated 6 October 2020
- MCA-MUK2392-09 Rev C, MCA-MUK2392-10, MCA-MUK2392-11, MCA-MUK2392-16 Rev A, MCA-MUK2392-18, MCA-MUK2392-19, MCA-MUK2392-20, MCA-MUK2392-22, MCA-MUK2392-23, MCA-MUK2392-24, MCA-MUK2392-25 and MCA-MUK2392-26 Rev A, all dated 7 October 2020
- MCA-MUK2392-41 Rev F, dated 9 October 2020
- 2091/E01, Rev P1, dated 1 March 2021 and 2091/E02, dated 25 November 2020
- 710, Rev A, dated 10 December 2020

The development shall be carried out and maintained in accordance with the approved details unless otherwise agreed in writing by the local planning authority.

Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.

3. Written Scheme of Investigation

Prior to the commencement of the development, hereby approved, a programme of archaeological work (which may comprise more than one phase) in the form of a written scheme of investigation shall be submitted to and approved in writing by the local planning authority. The development shall thereafter be implemented in accordance with the approved details.

Reason: The site is within an area of archaeological potential, and further investigation is required to allow preservation and recording of any archaeological features or artefacts before disturbance by the development.

Relevant policies: NPPF Section 16, Core Strategy policy CP3 and Managing Development Delivery Local Plan policy TB25.

4. Tree Protection Details

No development or any other operation associated with this planning permission shall commence on site until an updated Arboricultural Method Statement and Scheme of Works has been submitted to and approved in writing by the local planning authority. The updated details shall outline the drainage connection method in the north east of the site onto Waingels Road with particular regard to the protection of the adjacent Oak tree growing in the verge of Waingels Road.

No development or other operations shall take place except in complete accordance with the plan numbered 701, Rev A, dated October 2020 and the details in Section 4 of the Arboricultural Survey And Method Statement (ref: JSL3812_770) prepared by RPS Group and dated November 2020 and as amended by the updated details in this condition, hereinafter referred to as the Approved Scheme.

No operations (including any tree felling or pruning, soil moving, temporary access construction and or widening or any other operation involving use of motorised vehicles or construction machinery) shall commence on site in connection with the development hereby approved until the tree protection works and fencing has been installed in accordance with the approved details.

No excavations for services, storage of materials or machinery, parking of vehicles, deposit or excavation of soil or rubble, lighting of fires or disposal of liquids shall take place within an area designated as being fenced off or otherwise protected in the Approved Scheme.

The fencing or other works which are part of the Approved Scheme shall not be moved or removed, temporarily or otherwise, until all works including external works have been completed and all equipment, machinery and surplus materials removed from the site, unless the prior approval in writing of the local planning authority has first been sought and obtained.

Reason: To secure the protection throughout the time that the development is being carried out of trees shrubs or hedges growing within or adjacent to the site which are of amenity value to the area.

Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21.

5. Construction of Temporary Access

Prior to the commencement of the development, hereby approved, the temporary access to Waingels Road shall be constructed to a width of 5.5m (in accordance with the approved drawing numbered MCA-MUK2392-42) and surfaced with a permeable and bonded material across the entire width of the access for a distance of 10m from the carriageway edge.

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking and re-enacting that Order with or without modification), no gates or barriers shall be erected unless set back a distance of at least 10m from the highway boundary and so as to open away from the highway

Reason: To ensure adequate and accessible access into the site for vehicles, plant and deliveries associated with the development, to avoid spillage of loose material onto the highway in the interests of highway safety and convenience and to ensure that vehicles do not obstruct the highway whilst waiting for gates or barriers to be opened or closed, in the interests of road safety.

Relevant policy: Core Strategy policies CP3 and CP6.

6. Visibility Splay Provision

Prior to the commencement of the development, hereby approved, the temporary construction vehicular access shall have been formed and provided with visibility splays shown on the approved drawing number MCA-MUK2392-42 Rev A. The land within the visibility splays shall be cleared of any obstruction exceeding 0.6m in height and maintained clear of any obstruction exceeding 0.6 metres in height at all times.

Reason: In the interests of highway safety and convenience.

Relevant policy: Core Strategy policies CP3 & CP6.

7. Discovery of Unexpected Contamination

If contamination is found at any time during site clearance, groundwork and construction, the discovery shall be reported as soon as possible to the local planning authority. A full contamination risk assessment shall be carried out and if found to be necessary, a Remediation Method Statement shall be submitted to and approved in writing by the local planning authority prior to the recommencement of any further works on the site. Should no evidence of contamination be found during the development, a statement to that effect shall be submitted to the local planning authority prior to the first use of the development.

If necessary, works shall be carried out in accordance with the approved Remediation Method Statement and a final Validation Report shall be submitted to and approved in writing by the local planning authority prior to first use.

Reason: To protect those involved in the construction phase and end users from contaminated land.

Relevant policy: NPPF Section 15 and Core Strategy policies CP1 and CP3.

8. Materials

The materials used in the construction of this development, hereby approved, shall match those as shown on the approved drawings and application form unless otherwise agreed in writing by the Local Planning Authority.

Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.

9. Soft Landscaping, Grassland and Tree Details

Prior to the first use of the development, hereby approved, a scheme of soft landscaping and tree planting shall be submitted to and approved in writing by the local planning authority. The scheme shall include species, planting sizes, spacing and numbers of trees/shrubs to be planted and seeding mix or grassland habitat in and around the bund and is intended to serve as compensatory, replacement and enhancement of tree coverage, provide screening of the development (including the bund) and to act as net biodiversity gain.

Planting and seeding shall be carried out in accordance with the approved details in the first planting and seeding seasons following the first use of the pitch and following removal of the temporary access hereby approved. Any trees or plants which, within a period of 5 years from the date of the planting, die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species or otherwise as approved in writing by the local planning authority.

Reason: To ensure adequate planting in the interests of visual amenity and to serve as a net biodiversity gain for the site.

Relevant policy: NPPF Section 15, Core Strategy policies CP3 and CP7 and Managing Development Delivery Local Plan policies CC03, TB21 and TB23.

10. Management and Maintenance Plan

Prior to the first use of the development, hereby approved, a Management and Maintenance Plan for the facility including management responsibilities, a maintenance schedule and a mechanism for review shall be submitted to and approved in writing by the local planning authority after consultation with Sport England. The scheme shall include measures to ensure the replacement of the Artificial Grass Pitch within the manufacturer's specified period. The measures set out in the approved scheme shall be complied with in full, with effect from commencement of use of the Artificial Grass Pitch.

Reason: To ensure that a new facility is capable of being managed and maintained to deliver a facility which is fit for purpose, sustainable and to ensure sufficient benefit of the development to sport.

Relevant policies: Core Strategy policies CP1 and CP3.

11. Community Use Agreement

Within 9 months of the date of this permission, a Community Use Agreement prepared in consultation with Sport England, shall be submitted to and approved in writing by the local planning authority. The agreement shall apply to the pitch, changing accommodation and car parking and include details of pricing policy, hours of use, access by non-educational establishment users, management responsibilities and a mechanism for review. The development shall not be used otherwise than in strict compliance with the approved agreement.

Reason: To secure well managed safe community access to the sports facility and to ensure sufficient benefit to the development of sport

Relevant policies: Core Strategy policies CP1 and CP3.

12. Removal of Temporary Access

Within one month of the completion of this development, hereby approved, the temporary access to Waingels Road (constructed in accordance with the approved drawing numbered MCA-MUK2392-42) and including the access road, bonded entrance and dropped kerb, shall be removed, stopped up and abandoned, and the footway and/or verge crossings re-instated within one month of the completion of this development in accordance with details to be submitted to and approved in writing by the local planning authority.

Reason: In the interests of highway safety and convenience.

Relevant policy: Core Strategy policies CP3 and CP6.

13. Compliance with Noise Management Plan

The future use of the development, including the pitch, floodlights and change rooms, shall be undertaken in strict accordance with the Noise Management Plan (v1, dated 1 March 2021) and Code of Conduct, received by the local planning authority on 25 February 2021.

Reason: To protect the occupiers of nearby premises from unreasonable noise levels.

Relevant policy: NPPF Section 15, Core Strategy policies CP1 and CP3 and Managing Development Delivery Local Plan policy CC06.

14. Hours of Use

The development, hereby permitted, inclusive of the floodlighting shall not be used other than between the hours of 8am and 9:15pm Monday to Saturday and 10am and 7pm on Sundays. No use is permitted on Bank Holidays. Lighting is to be operated in accordance with Condition 15.

Reason: To safeguard residential amenities. Relevant policy: Core Strategy policies CP1 and CP3 and Managing Development Delivery Local Plan policy CC06.

15. Installation, Operation and Maintenance of Lighting

The floodlights, bollard lighting and all other associated elements, hereby approved, shall be installed, maintained and illuminated only in accordance with the approved details and the following:

- a) the Philips leaflet titled OptiVision LED gen3 – Smart area and recreational sports lighting), dated 8 August 2019, using LO lanterns only
- b) drawing numbered MCA-MUK2392-12 Rev E, dated 9 October 2020
- c) Guidance Note 01/20 (Guidance notes for the reduction of obtrusive light),
- a) the details headed ‘Floodlight Curfew Timer’, submitted to the local planning authority on 26 February 2021 and consisting of a Philips Dynalite BDDC120 Dali ballast controller

Reason: To ensure an appropriate lighting level for the semi-rural setting and to minimise the light spill out of the target area and reduce the impact on light sensitive protected species.

Relevant policy: NPPF Section 15, Core Strategy policies CP1, CP3 and CP7 and Managing Development Delivery Local Plan policy TB23.

16. Amplified Sound

No sound amplifying equipment shall be installed within the pitch or its surrounds.

Reason: To safeguard the residential amenities of nearby residents and the area generally from noise and disturbance.

Relevant policy: NPPF Section 15, Core Strategy policies CP1 and CP3 and Managing Development Delivery Local Plan policy CC06.

17. Site Access via Denmark Avenue

The school gate from Denmark Avenue is to remain locked except between the hours of 7am and 5pm on days when the school is open.

Reason: To deter the parking of vehicles outside of the school grounds, manage parking and protect the amenities of local residents.

Relevant policy: Core Strategy policies CP1 and CP3 and Managing Development Delivery Local Plan policies CC06 and CC07.

18. Only One Scheme to be Implemented

The development to which this planning permission relates shall not be implemented if any part of the development for which planning permission was granted in planning application reference 173584 is commenced.

Reason: To avoid the net loss of sporting facilities and cumulative impacts associated with additional vehicle movements, parking demand, noise disturbance and light spillage.

Relevant policy: Core Strategy policies CP1 and CP3 and Managing Development Delivery Local Plan policies CC06 and CC07.

19. Drainage Maintenance

The drainage for the AGP, hereby permitted, shall be implemented and maintained in full accordance with the drawing numbered 2091/E02 Rev P1, dated 1 March 2021 and the Drainage/SuDS Management and Maintenance Plan, including all agreed terms and conditions, for the life of the development.

Reason: To ensure the continued operation and maintenance of drainage features serving the site and avoid flooding.

Relevant policies: NPPF Section 15, Policies CP1 and CP3 of the Core Strategy and Policy CC10 of the Managing Development Delivery Local Plan.

Informatives

1. Community Use Agreement

Guidance on preparing Community Use Agreements is available from the Sport England website at <http://www.sportengland.org/planningapplications/>.

2. Access Construction

The Head of Highways at the Council Offices, Shute End, Wokingham [0118 9746000] should be contacted for the approval of the access construction details before any work is carried out within the highway (including verges and footways). This planning permission does NOT authorise the construction of such an access or works.

3. Mud on the Road

Adequate precautions such as wheel washing shall be taken during the construction period to prevent the deposit of mud and similar debris on adjacent highways. For further information contact the Highway Authority on tel.: 0118 9746000.

4. Changes to the Approved Plans

The applicant is reminded that should there be any change from the approved drawings during the build of the development this may require a fresh planning application if the changes differ materially from the approved details. Non-material changes may be formalised by way of an application under s.96A Town and Country Planning Act 1990.

5. Protected Species

This permission does not convey or imply any approval or consent required under the Wildlife and Countryside Act 1981 for protected species. The applicant is advised to contact Natural England with regard to any protected species that may be found on the site.

Should any bats or evidence of bats be found prior to or during the development, all works must stop immediately and an ecological consultant or the Council's ecologist contacted for further advice before works can proceed. All contractors working on site should be made aware of the advice and provided with the contact details of a relevant ecological consultant.

6. Discussion

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received. This planning application has been the subject of positive and proactive discussions with the applicant in terms of providing additional plans. The decision to grant planning permission in accordance with the presumption in favour of sustainable development as set out in the NPPF is considered to be a positive outcome of these discussions.

PLANNING HISTORY		
App Number	Proposal	Decision
42420	One replacement and five temporary classrooms	Approved 23 May 1994
44409	Garage for storage of scout equipment	Approved 16 June 1995
44577	Extension to sports block to form drama studio, weights room and equipment storage	Approved 7 August 1995
FP/1995/4056	Drama and dance studio	Refused 19 January 1996
F/1997/64927	First floor extension	Approved 18 March 1997
F/1997/66037	Conversion of flat roofs to pitched roofs	Approved 18 September 1997
FP/97/6548	First floor extension to sixth form	Approved 12 November 1997
FP/97/6708	Conversion of flat roofs to pitched roofs	Refused 25 September 1997
FP/97/6708/A	Music and boiler room	Approved 9 January 1998
F/1998/67833	New classroom building	Approved 3 August 1998
F/1998/67875	Conversion of flat roofs to pitched roofs	Approved 13 August 1998
F/1998/68280	Single storey extension for storage area	Approved 26 November 1998
FP/98/7754	Conversion of flat roofs to pitched roofs	Refused 20 August 1998
FP/98/7852	Double classroom	Approved 19 August 1998
FP/98/7754/A	Conversion of flat roofs to pitched roofs	Approved 19 August 1998
F/2000/1615	Portable double classroom	Approved 19 July 2000
FP/2000/0941	Single storey pitched roof classroom block	Approved 12 September 2000
F/2000/2639	Six new classrooms and support accommodation to hall	Approved 17 January 2000
F/2004/3593	First floor extension for teaching facility with disabled access	Approved 7 February 2005
F/2005/5292	Two storey modular teaching block	Approved 22 September 2005
F/2005/6566	Multi use games area with artificial grass	Approved 8 February 2006
F/2008/1844	Redevelopment of Waingels College for new secondary school academic	Approved 4 December 2008

	floorspace comprising four new two storey buildings and retention and refurbishment of five existing single and two storey buildings, new vehicular access from Waingels Road	
F/2011/0574	Single storey extension to the existing sports block for a PE classroom and associated storage	Approved 4 May 2011
160062	Change of use from dwelling (C3) to nursery (D1) plus single storey side and rear extension to dwelling	Approved 25 May 2016
163217	Erection of 6no floodlighting columns at the Multi Use Games Area (MUGA)	Approved 16 January 2017
173584	Demolition of existing store and new multi-use games area with floodlights	Approved 11 April 2018
203631	Change of use from ancillary store building to 2no. residential apartments	Approved 26 February 2021

SUMMARY INFORMATION	
Site Area	School campus measures 10.8 hectares with sports fields and open space making up approximately 7.6 hectares.
Previous land use(s)	Class D1 school campus with playing fields and car parking.
Number of jobs created/lost	Management of the facility is required but no actual job creation has been specified.
Existing parking spaces	Two separate car parks with a total of 178 spaces.
Proposed parking spaces	No change.

CONSULTATION RESPONSES	
WBC Highways	No objection, subject to Conditions 5, 6 and 12 relating to the temporary access, visibility splays, surfacing of the access and its removal upon completion.
WBC Environmental Health	No objection, Noise will be noticeable on occasions but not intrusive and there will not be any light glare or spill onto nearby residential properties. Conditions 13 and 14 relate to compliance with the Noise Management Plan and the hours of operation of the pitch and lighting.
WBC Ecology	No objection is raised, subject to the control of hours of operation of the lighting (Condition 14) to ensure no unacceptably adverse harm to bats. Additional landscaping is also required in Condition 9 to ensure a net gain of biodiversity.
WBC Drainage	No objection on drainage and flooding grounds.
WBC Trees and Landscaping	No objection, subject to compensatory replacement planting (Condition 9) and additional details and compliance with the Arboricultural Method Statement (Condition 4).
WBC Education	No comments received.
WBC Sports Development	
Sport England	The application has been the subject of pre application discussions and a strategic need for the facility has been identified. No objection is raised (the FA and Football Foundation are supportive of the application), subject to Conditions 10 and 11 requiring a Management

	and Maintenance Scheme and Community Use Agreement respectively.
Thames Water	No objection in terms of foul and surface water disposal or water provision.
Berkshire Archaeology	No objection, subject to a programme of archaeological work in Condition 3 as finds of Roman date have been made to the northeast and the Roman road from Henley to Silchester runs to the north.

REPRESENTATIONS	
Woodley Town Council	<p>Concerns are raised on the following grounds:</p> <ul style="list-style-type: none"> Will exacerbate flooding problems in Waingels Road and SuDS features will be required. <p><u>Officer comment:</u> The proposal will result in additional impermeable surfaces but the drainage strategy is to the satisfaction of the Council's Drainage Officer, as noted in paragraphs 69-72.</p> <ul style="list-style-type: none"> Increased traffic problems in Waingels Road <p><u>Officer comment:</u> The Council's Highways Officer does not raise objection with the likely increase in traffic, as outlined in paragraphs 65-66.</p>
Charvil Parish Council	<p>Concerns are raised on the following grounds:</p> <ul style="list-style-type: none"> Hours should be reduced to 8am-9pm (to 6pm on weekends) to minimise noise disturbance <p><u>Officer comment:</u> Refer to Condition 14, which outlines a reduction in the proposed hours of use of the floodlights to 9:15pm Monday to Saturday. It is considered unnecessary to reduce the hours on Saturday to 6pm.</p> <ul style="list-style-type: none"> Floodlights should not be allowed so close to ancient woodland <p><u>Officer comment:</u> The location of the floodlights is acceptable in terms of its relationship with the ancient woodland but it is subject to limitations on use on ecological grounds, as outlined in Condition 14. See paragraphs 82-84.</p> <ul style="list-style-type: none"> Improved cycling infrastructure from Charvil should be a condition of consent <p><u>Officer comment:</u> The existing cycling infrastructure is satisfactory and no off site works are considered necessary</p> <ul style="list-style-type: none"> Increased traffic on a local road and the speed limit should be lowered to 30mph <p><u>Officer comment:</u> This request is outside the scope of this application and is considered unnecessary given the Council's Highways Officer does not raise objection on these grounds.</p>

	<ul style="list-style-type: none"> • Additional access poses a pedestrian safety issue <p><u>Officer comment:</u> The additional access is for construction purposes only and is not intended for pedestrian access onto the site. It will be removed at the conclusion of the development works and it is not envisaged that it poses an unacceptable short or medium term pedestrian risk.</p>
Ward Members	No comments received.
Neighbour Comments	<p>The application was consulted to neighbours from 6 January to 16 February 2021 and a site notice installed from 26 January 2021. Submissions were received from the following properties:</p> <ol style="list-style-type: none"> 1) Blackberries, Waingels Road, Lands End, Twyford RG10 0UA 2) Acorns, Waingels Road, Lands End, Twyford RG10 0UA <p>The submissions raised the following issues:</p> <ul style="list-style-type: none"> • In this location, it will impact upon houses and should be located behind buildings <p><u>Officer comment:</u> Subject to appropriate controls on hours of use, the proposal has an acceptable amenity outcome and there is no specific need for its relocation.</p> <ul style="list-style-type: none"> • Site is at high risk of surface flooding and drainage to the sewer will lead to increased flooding because of an existing lack of capacity <p><u>Officer comment:</u> The proposal includes an increase in impermeable surfaces and a drainage strategy proposes controlled release of surface water. There are no watercourses close to the pitch. The nearest storm water drains are located within Waingels Road, adjacent to the development. This drainage is owned and maintained by Wokingham Borough Council who have been consulted regarding the proposals and have accepted in principle the point of connection as shown on the adjacent plan. This is satisfactory, as detailed in paragraphs 69-72.</p> <ul style="list-style-type: none"> • Increased light pollution • Increased noise pollution, including swearing <p><u>Officer comment:</u> The neighbour amenity impacts are considered to be acceptable, as noted in paragraphs 41-59 and when subject to further details in Conditions 11, 13, 14 and 15.</p> <ul style="list-style-type: none"> • Bund is of inadequate height to achieve any substantive change to noise levels <p><u>Officer comment:</u> The bund has a dual function in noise minimisation and screening of the court. Whilst not completely eliminating any impacts, it serves a purpose and is acceptable. Any increase in height</p>

	<p>above that proposed is likely to result in adverse impacts to the character of the area.</p> <ul style="list-style-type: none"> • Lights will harm birds and bats • A bat survey should have been submitted <p><u>Officer comment:</u> Ecological considerations are detailed in paragraphs 85-91 and warrant the imposition of Conditions 9 and 14 to protect against any unacceptably adverse harm to protected species. This assessment is on the basis of an ecology report not being submitted with the application although this was not a statutory requirement.</p> <ul style="list-style-type: none"> • Why is this development exempt from limits on lighting in the countryside • Any approval should be subject to the bund being raised to 5m and additional tree planting <p><u>Officer comment:</u> Condition 9 requires additional landscaping details prior to the first use of the development and this will include seeding to the bund and tree planting. There is no justifiable reason to increase the height of the bund, particularly when it would result in a foreign element in the countryside.</p> <ul style="list-style-type: none"> • Increased traffic problems and safety risks for pedestrians in Waingels Road, including from the new access <p><u>Officer comment:</u> The Council's Highways Officer does not raise objection with the likely increase in traffic, as outlined in paragraphs 65-66. The additional access is for construction purposes only and is not intended for pedestrian access onto the site. It will be removed at the conclusion of the development works and it is not envisaged that it poses an unacceptable short or medium term pedestrian risk.</p>
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APPLICANTS POINTS

- The proposal would provide the College with an all-weather facility in line with the existing use of the land that will be available seven days a week and throughout the entire year (irrespective of weather conditions), enabling an intensification of sporting uses and increased access to a wider range of participants.
- The proposed AGP would be available for use by partner organisations and community groups organised by the applicant.
- The proposed AGP would make a significant contribution towards addressing the unmet demand for modern football facilities and would allow users of the site including partner football clubs to focus on training in one venue and provide access during peak community use periods thereby gaining greater control over facility availability and pricing.
- The proposal would meet the need identified as being required within the area by the Football Association (FA).

- The proposed AGP would contribute to the achieving The Football Association's National Game Strategy and be supported by a robust sustainable business plan, satisfying training needs and competitive matches.
- The proposed development would not result in an unacceptable impact upon the character, appearance or visual amenity of the surrounding area or have a detrimental effect on the private amenity of the adjoining residents due to an increase in noise or light pollution.
- The hours of use proposed for this facility are in line with those of other similar facilities during the week and below those of similar facilities at weekends. Therefore, given the sites current use and the proposed mitigation measures introduced it is not envisaged that the proposal will impact on existing properties.
- The proposed site will be partially screened by the existing tree/hedge screening and the existing access to/from the site will not be affected by the proposal.
- The proposal provides adequate on-site parking and necessary traffic management to meet the needs of the development. Traffic movement to and from the proposed Artificial Grass Pitch (AGP) would be such that it would not overlap or create undue congestion within the surrounding vicinity of the application site and therefore not result in an increase in demand for off-street parking or have a detrimental impact on the surrounding public highway network.
- The proposed Artificial Grass Pitch (AGP) will replace existing grass pitch provision with better quality provision, thereby providing access to greater quantity of provision in a suitable location and supported by effective and appropriate management arrangements; whilst implementing best practice construction techniques to minimise waste and pollution; in accordance with Achieving Sustainable Development of the National Planning Policy Framework (2012).
- In accordance with Section 8 of the National Planning Policy Framework (2012) – Promoting Healthy Communities. The proposal would give rise to a considerable benefit to the wider community through the provision of an enhanced playing facility available throughout the whole year.
- In accordance with Section 10 of the National Planning Policy Framework (2012) – Meeting the Challenge of Climate Change, Flooding and Coastal Change. The proposal would ensure that surface water run-off is effectively managed and does not increase flood risk elsewhere.
- In accordance with Section 11 of the National Planning Policy Framework (2012) – Conserving and enhancing the natural environment. The proposal would ensure that the performance of the proposed floodlighting system complies with the appropriate Environmental Zone for its location and that the noise emission created by use of the development is designed to be kept within acceptable levels. Neighbouring residents would therefore not be adversely affected by this proposal and as such it would not result in an unacceptable impact to any residential amenity.
- The proposal satisfies Sport England's Exception policy E5 – The proposed development is for an indoor or outdoor sports facility, the provision of which would

be of sufficient benefit to the development of sport as to outweigh the detriment caused by the loss of the natural turf pitch.

PLANNING POLICY		
National Policy	NPPF	National Planning Policy Framework
	NPPG	National Planning Policy Guidance
Adopted Core Strategy DPD 2010	CP1	Sustainable Development
	CP2	Inclusive Communities
	CP3	General Principles for Development
	CP6	Managing Travel Demand
	CP7	Biodiversity
	CP9	Scale and Location of Development Proposals
	CP11	Proposals outside Development Limits
Adopted Managing Development Delivery Local Plan 2014	CC01	Presumption in Favour of Sustainable Development
	CC02	Development Limits
	CC03	Green Infrastructure, Trees and Landscaping
	CC04	Sustainable Design and Construction
	CC06	Noise
	CC07	Parking
	CC09	Development and Flood Risk
	CC10	Sustainable Drainage
	TB08	Open Space, Sport and Recreational Facilities Standards
	TB21	Landscape Character
	TB23	Biodiversity and Development
Other	BDG	Borough Design Guide
	SDC	Sustainable Design and Construction Supplementary
	SPD	Planning Document
	WDS	Woodley Design Statement
	OSRS	Wokingham Open Space, Sports and Recreation Strategy 2013

PLANNING ISSUES

Description of Proposal

1. The proposal involves the following works:

- Construction of an uncovered artificial grass pitch (AGP) in the north eastern corner of the existing playing fields, measuring 106m x 70m, comprising of a sand and rubber infill base and including goal storage areas and spectator area with 2.6m high storage container
- Erection of 1.2m-4.5m high fencing, with rebound fencing to the lower 1.2m, around the perimeter of the pitch and spectator areas
- A total of six x 15m high floodlights along the northern and southern sides of the pitch
- Construction of a new, temporary access on Waingels Road to the north east of the existing school buildings to allow for separated construction access
- Construction of a 2.5m high earth bund (from excavated topsoil) adjacent to the eastern corner of the AGP
- Provision of a 2.5m wide path, with bollard lighting, connecting with the main area of the school campus, including the car park and changing rooms

2. The hours of use are nominated as from 8am-10pm on weekdays, 8am-9pm on Saturday and 9am-6pm on Sundays and bank holidays.
3. The facility is intended for use by the school during school hours and community use after hours, with use of the existing school car park and changing facilities. It is to be installed and maintained by Wokingham Borough Council in conjunction with Waingels Academies Trust who have a 125 year lease agreement.
4. The application has been the subject of pre application discussions with Sport England and is part funded through the Football Association foundation.

Description of Site and Surrounds

5. The school campus occupies 10.8 hectares of land on the northern side of Waingels Road on the north eastern outskirts of Woodley. It includes a variety of two storey school buildings and two main car parks concentrated at the southern end of the site with 7.5 hectares of playing fields and other sports facilities at the northern end. The pitch is within designated countryside at the north eastern end of the playing fields, with the settlement edge being the school buildings to the south. There is a fall of approximately 0.5m across the pitch.
6. Residential development within development limits backs onto the school campus along the western boundary with more detached residential development on larger plots within the countryside lining the southern side of Waingels Road to the south. The Norris' Copse Bird Sanctuary, Ashenbury Park, Loddon Valley Gravel Pits adjoin to the south and these serve as a local wildlife site, ancient woodland, public open space and Biodiversity Opportunity Area. Sonning Golf Club adjoins to the north, separated by the main GWR rail line.

Principle of Development

7. The National Planning Policy Framework has an underlying presumption in favour of sustainable development which is carried through to the local Development Plan. The Managing Development Delivery Local Plan (MDD) Policy CC01 states that planning applications that accord with the policies in the Development Plan for Wokingham Borough will be approved without delay, unless material considerations indicate otherwise.

Development within the countryside

8. The AGP is part of the wider school campus and is located at the north eastern end of the existing playing fields. Although the school buildings are within the settlement limits, the site for the pitch is within designated countryside. Development is not normally permitted by Policy CP11 of the Core Strategy, unless it comprises a sustainable rural or recreational enterprise, does not lead to excessive expansion away from the original building and is contained within a building suitable for conversion.

9. The AGP would be viewed as a recreational facility, particularly when it is open for after-hours community use. Furthermore, because it remains within the confines of the school campus and is an open air structure, it does not represent excessive encroachment away from the existing buildings. Appropriate mitigation, through additional landscaping is also proposed and enhanced by condition whereby there is a net improvement in the environment. As a result, the proposal accords with Policy CP11.

Site sustainability

10. Policies CP1, CP6, and CP11 of the Core Strategy aim to ensure that development is based on sustainable credentials in terms of access to local facilities and services and the promotion of sustainable transport. In this case, the pitch is intended for the benefit of the school population but also for community use. It does not involve an increase in staff or student numbers and involves the partial replacement of existing sports facilities such that it is not envisaged to result in any appreciable increase in vehicle movements associated with the school use of the facility and meets the sustainability intent of the NPPF and the Core Strategy.
11. For after-hours use, the site is well served by public transport well into the evening (the last service to Reading is at midnight), with a bus stop 500m to the south in Tippings Lane providing regular services on route 14 between Woodley and Reading. It is also easily accessed by bicycle and pedestrian infrastructure is satisfactory.

Loss of existing sporting facilities

12. Policy TB08 of the MDD Local Plan states that there should be no loss of open space, sporting or recreational facilities and that new facilities should be provided on site. Paragraph 97 of the NPPF states that existing playing fields should not be built on unless an assessment has been undertaken which has clearly shown the land to be surplus to requirements; or the loss would be replaced by equivalent or better provision in terms of quantity and quality in a suitable location or the development is for alternative sports and recreational provision, the benefits of which clearly outweigh the loss of the current or former use.
13. The proposal involves the loss of 1 hectare of playing fields which is currently used for football and a running track. The existing cricket field will be maintained as will existing tennis courts, a MUGA hockey pitch and rounders and there remains sufficient space to the west of the pitch for a reconfigured grass football pitch.
14. Sport England were consulted on the proposal and their assessment is based on whether the development meets one or more of five specific criteria. In this case, criterion five notes that '*The proposed development is for an indoor or outdoor facility for sport, the provision of which would be of sufficient benefit to the development of sport as to outweigh the detriment caused by the loss, or prejudice to the use, of the area of playing field.*'
15. The application has been the subject of previous discussions with Sport England and the Football Association. The site is identified in the Local Facilities Football Plan for a 3G AGP and the current Playing Pitch Strategy identifies a need for 3G AGPs in this area. Furthermore, the Football Association and Football Foundation are

supportive of the development, the former contributing to funding its delivery. It has therefore been identified that there is a strategic need.

16. The loss of playing surfaces is offset by a net increase in the total area of usable playing fields with the proposed pitch extending further to the north east into an area not currently used for sporting activities. It will open up of facilities for community use and allow for all weather and night time use and a more durable surface, allowing for an increase in usage by the broader community. It also allows for adaptable use by different sized football games, with a dividing net allowing for two consecutive, half sized games or up to a total of four games at once.
17. With the provision of all-weather facilities, proposed community use (to be secured in Condition 11) and subject to a maintenance plan (Condition 12), the proposal represents an overall benefit in terms of sporting and community based facilities, and no objection is raised.

Acceptability of community use

18. The community use of the facility is conditional upon the funding from the Football Association.
19. The Council's *Open Space, Sports and Recreation Strategy 2013* permits the '*dual use of both primary and secondary school sports facilities...providing that these facilities include a higher proportion of artificial turf pitches or hard courts than might otherwise be expected.*' The proposal is supportive of this.
20. There are other underutilised floodlit facilities within 3 miles of Woodley Town Centre, including within the school campus itself. However, the facility is a full sized football pitch and the primary aim of the application is to provide additional facilities for students. The existence of other pitches in the area is of no real consequence and if it is underutilised, any amenity impacts upon surrounding residents would be lessened by less frequent use.

Previous planning permissions

21. There is an existing multi use games area (MUGA) pitch to the south west of the proposed site. It was approved in 2016 (planning ref: 163217) and includes six x 10m high floodlights. At 60m x 35m, it is much smaller than the subject proposal and is currently used for hockey. The subject application would not affect this pitch.
22. Another MUGA was approved to the west of the 2016 pitch (application ref: 173584). It involved a 101m x 60m all-weather pitch, which is largely identical in dimensions to the subject application. Eight x 15.5m high floodlights were also proposed. There is no intention for this permission to be enacted, with the expiry date for implementation being 11 April 2021. In this respect and subject to a consideration of the differing amenity, ecological and character implications, there is a degree of precedent for such a scheme within the playing fields. As they are in different areas of the campus, Condition 18 protects against the implementation of two schemes.

Character of the Area

23. Policy CP3 of the Core Strategy states that development must be appropriate in terms of its scale, mass, layout, built form, height and character of the area and must be of high quality design. Paragraph 170(b) of the NPPF requires that planning applications enhance the natural and local environment by *'recognising the intrinsic character and beauty of the countryside, and the wider benefits from natural capital and ecosystem services – including the economic and other benefits of the best and most versatile agricultural land, and of trees and woodland.'*
24. RD1 of the Borough Design Guide requires that new development should retain, incorporate and enhance features that contribute to the character and biodiversity of the area. RD9 requires that development on the settlement edge create an edge and incorporate soft landscaping to integrate to the rural setting. NR8 requires high quality and simple materials and components. R12 states that boundary treatments contribute positively to the character of the area.
25. The pitch and all other elements will be located wholly within the countryside, which also encompasses all of the main sports fields to the north. All of the buildings and the car park to the south and west of the pitch are located within the settlement boundary. The intent of this delineation is to limit the further encroachment of buildings on the campus and to protect the openness that the sports field delivers to the northern part of the school as well as surrounding open space and countryside.
26. The pitch will be comprise an uncovered hard paved area extending from the existing buildings and sports facilities. The playing surface will be a green 3G artificial turf with 60mm pile with silica sand and rubber and marked with blue, white, yellow and red line markings for various pitch arrangements. It will be maintained at or near natural ground level, with a slope across the site of not more than 0.5m. As a result, the pitch will be relatively consistent with the existing character of the playing fields, with no perception of its artificial nature when viewed from surrounding areas, including the rail line. The line markings will be apparent but not sufficiently contrasting to warrant concern.
27. The fencing type will be 4.5m high steel open mesh fencing containing a general 200x50mm aperture and 66x50mm aperture to the lower 1.2m to allow for balls to rebound. It lowers to 1.2m-2.0m around the spectator areas. It will be visible in views but will also be open in appearance and will continue to allow sightlines through the site. It is not out of character with other facilities within the school campus and is not dissimilar to the existing fencing for the netball/basketball court to the south west nor is it viewed as a foreign element within the edge of settlement or semi-rural location. At 4.5m in height, the proposed fencing is not of excessive height and no objections are raised.
28. The floodlights along the northern and southern (or long) sides of the court consist of six galvanized 15m high columns with a galvanised steel with a self-coloured finish with 2 no. Philips BVP527 NB/A55 luminaires to each column (12 in total) and aluminium fittings. There is no indication that the columns will be retractable. At a height of 15m, they will extend above the height of the school buildings to the south west and will be apparent in the openness of the playing fields, particularly when viewed from the rail line. However, the height is still not excessive in the context of the other pitch infrastructure, the fencing and recently installed gantries associated

with the electrification of the raised rail corridor and associated fencing and when it will be equivalent to the height of the taller Oaks lining Waingels Road, which have a canopy height of between 12m and 15m. In this context, they are acceptable.

29. Paragraph 180 of the NPPF aims to limit the impact of light pollution from artificial light on local amenity, intrinsically dark landscapes and nature conservation. The light spill from the floodlights will be apparent in wider views along the elevated train line and when travelling east along Waingels Road towards Chavil. However, it is positioned in an edge of settlement location with lighting within the school campus to the south west and dwellings to the south as well as denser residential development to the west.
30. A 15m mounting height was chosen as this will result in low vertical overspill and good uniformity on the playing surface to ensure that artificial lighting is directed fully downwards towards the playing pitch surface and to avoid sky glow. The lighting will therefore be contained to the immediate area, which will retain a suitable level of darkness in this area of the rural landscape to the north. It is also time limited to 9:15pm Monday to Saturday and 7pm on Sundays by Condition 14.
31. The bund will occupy a 3000m² area of land at the north eastern end of the pitch, contoured around its perimeter. It will consist of a 1.3m earth mound on top of a 1.2m base (i.e. 2.5m overall) with a 1:3 gradient with fill obtained from the construction of the pitch. The intent of the bund is to provide a degree of screening from the east and to absorb (but not eliminate) noise transmission. Because of the minimal gradients to its banks, large flat expanse at its top, nonlinear or curved appearance around the edges of the pitch and appropriate height, it does not appear as an unacceptably foreign element in the countryside. It also serves a screening purpose and Condition 9 requires it to be suitably landscaped for biodiversity and character reasons. On these grounds, it is acceptable.
32. The associated paving includes a path linking the pitch with the school facilities to the south west as well as emergency access, spectator area, goal recesses and mowing margins, all in grey/black coloured porous asphalt. The pitch will run alongside the existing MUGA pitch to the south west and will not encroach into the playing fields more than necessary. It therefore achieves a satisfactory relationship with the character of the countryside.
33. The sports storage container is located in the spectator area on the southern side of the pitch. It will have dimensions of a height of 2.6m and length of 6.1m with a total volume of 38m³. It will consist of steel with a dark green polyester powder coating. In this location and with this type of materials and overall scale, it will not be unacceptable in the backdrop of the existing pitch and is therefore acceptable on character grounds.
34. On the basis of the above conclusions, there are no objections in terms of its relationship within the countryside or to Policies CP3 and CP11 of the Core Strategy and the Borough Design Guide.

Archaeology

35. Policy TB25 of the MDD Local Plan requires the retention of archaeological sites in situ.

36. Berkshire Archaeology were consulted and they have noted that the site is in close proximity of an area of archaeological potential. Finds of Roman date have been made to the northeast of the site and the Roman road from Henley to Silchester runs to the north. Previous archaeological assessments within the campus have concluded that, given the sites and finds noted on the Berkshire Historic Environment Record, as well as the geology favourable to finding, in particular, prehistoric evidence, there is potential for archaeology from most periods to exist on the site. However, it is also noted that in some areas of the campus, below-ground deposits may have been affected by construction or landscaping works.
37. Any archaeological features currently surviving are likely to be truncated by groundworks required for the sub-base and/or drainage for the new pitch. It is unlikely however that any archaeological features surviving will be of regional or national significance, and therefore in line with local and national planning policy, the impact can be dealt with satisfactorily via a scheme of archaeological works, as required in Condition 3.

Accessibility (incorporating The Public Sector Equality Duty (Equality Act 2010))

38. In determining this application the Council is required to have due regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief. Policy CP2 of the Core Strategy also seeks to ensure that new development contributes to the provision of sustainable and inclusive communities, including for and the disabled.
39. There is no indication or evidence (including from consultation on the application) that persons with protected characteristics as identified by the Act have or will have different needs, experiences, issues and priorities in relation to this particular planning application and there would be no significant adverse impacts as a result of the development.
40. The pitch will be installed at existing ground level with level paved access from the car park (where there are 11 existing blue badge spaces) and the changing facilities (which are accessible). The proposal therefore achieves full accessibility.

Residential Amenities

41. Policy CP3 of the Core Strategy aims to protect neighbouring amenity and Policy CC06 and Appendix 1 of the MDD Local Plan requires that development protect noise sensitive receptors from noise impact. Paragraph 170 of the NPPF also aims to prevent new and existing development from contributing to, being put at unacceptable risk from, or being adversely affected by unacceptable levels of noise pollution. Paragraph 180 seeks to mitigate and reduce to a minimum potential adverse impacts resulting from noise and avoid noise giving rise to significant adverse impacts on health and the quality of life.
42. There is a collection of residential properties on large countryside plots opposite the pitch in Waingels Road, the closest being within 50m. These properties are partially screened by roadside vegetation. Denser residential development within the

development limits adjoining the western boundary of the school in Copse Mead and Denmark Avenue is 235m away, with rear gardens backing onto the existing playing fields.

Sunlight, Daylight and Sense of Enclosure

43. The pitch is enclosed by an open fencing, partly screened by roadside vegetation and is at least 50m from the nearest residential property (to the south). The bund is a modest alteration to the landform. In both cases, the development will not result in any adverse perception of dominance or loss of light.

Overlooking

44. The pitch will result in increased numbers of participants in the northern area of the playing fields for longer periods of the day. However, by virtue of the adequate separation and the proposed 2.5m high bund at its eastern end as well as existing and proposed/conditioned landscaping, there is no unreasonable sense of overlooking.

Light spill

45. Artificial lighting to the new pitch is to consist of 6 no. galvanized 15m high floodlight columns with 2 no. Philips BVP527 NB/A55 luminaires to each column, to provide the required light levels for the new pitch. Evening use is proposed until 10pm Monday to Friday, 9pm on Saturday and 6pm on Sundays and public holidays.
46. The application was supported by a Design and Access Statement which referred to the following lighting details:

The proposed Philips BVP527 NB/A55 is a down lighting luminaire that will provide the optimum sports lighting solution, ensuring that light reaches the sports surface and not into the sky or polluting the environment. Light intrusion to the closest residential properties are below the threshold for an E2 environmental zone (rural location) and as such, does not create an unacceptable impact by way of artificial lighting. Use of the artificial (flood) lighting system within permitted times will be controlled by a photocell detector and timer switch to ensure that any lighting does not adversely impact neighbouring residential amenity.

47. Guidance on obtrusive light spill is provided by Institution of Lighting Engineers. In a rural area, the guidance would be a maximum of 5 lux before curfew (11pm) and 1 lux after curfew although the latter is not relevant as the lights will not be operating at this time. The application was accompanied by an isolux contour plan demonstrating that light will be mostly confined to the pitch – at 335 lux on the pitch and 5 lux no more than 28m from the edge of the pitch, which remains well inside the site boundaries even when not accounting for tree coverage. This demonstrate that the maximum light spill to the boundaries of neighbouring properties would be less than 5 lux and therefore accord with the pre curfew guidance. At this level, the Council's Environmental Health Officer raises no objection.
48. Additional lighting details about lanterns (on ecological grounds) and the ongoing management of the lighting during use such as how the timer will operate have been

submitted and this detail forms part of Condition 15. Condition 14 limits the use of the floodlights to 9:15pm Monday to Saturday and 7pm on Sunday to achieve consistency with the previous 2017 permission and to minimise harm to foraging and commuting bats. This will further improve any perceived harm. The hours vary from the 2016 permission, which is to 10pm nightly. However, the 2016 approval is of smaller size and located closer to the school buildings.

49. Bollard lights are proposed along the access path to allow safe access to and from the school buildings. Because these lights are at a low level and closer to the main school buildings, it does not present any foreseeable issue.

Noise Disturbance

50. Amongst the other existing activities of the school, including use of the outdoor sporting facilities and general lunchtime play, the use of the pitch is unlikely to result in adverse or unacceptable noise transmission above that expected and tolerated of a secondary school. In this regard, it is acceptable
51. However, its use after school hours into the late evening, six days a week, may result in additional noise transfer to surrounding residential properties outside of normal school hours, including during holidays. Residents on Waingels Road live in a semi-rural location and would also expect some respite from the activities of the school when it is closed even despite the location alongside a busy commuter rail line,
52. The use of the pitch will be at its greatest during the football season or winter months but it is still anticipated to be used during the summer. It is also worth noting that sport is already played in this area although it is during daylight hours and by school students only. Existing tree cover, the train line to the north and distances to residential dwellings are also mitigating factors that affect the background and expected noise levels.
53. A noise impact assessment (Acoustic Consultants Ltd Ref: 8836/DO Dated February 2021) was submitted at the request of the Council's Environmental Health Officer. The assessment uses library data from nine sports sessions of football, hockey and rugby, with men, women and children on three other nearby AGPs. The measurements were used to establish likely noise output from the subject site. Monitoring also took place at the site to establish baseline noise levels and predict any changes to the existing environment.
54. The modelling assumes most noise will be emitted at a height of 1.5m below the 2.5m high bund. The report concludes that the noise impact will be below the level for community annoyance derived from WHO 1999 and the comparative assessment concludes that the impact on the existing noise climate will be approximately 0.8dB. Any change below a 3dB increase is considered to be insignificant.
55. The main conclusion is that noise from the AGP will be noticeable on occasions but will not be intrusive. This equates to the 'No Observed Adverse Effect level' which is considered acceptable and does not require further mitigation.
56. The report acknowledges that it is not possible to 'engineer out' noise from swearing and antisocial behaviour and recommends the use of a Noise Management Plan (NMP) which includes a mechanism to deal swiftly and effectively with any

complaints received. A draft Plan has already been submitted with the application and it refers to the following aspects:

- A nominated noise monitoring supervisor
- Maximum user capacity
- Pre-booked lettings under a signed lettings agreement and Code of Conduct
- Supervisor liaison
- Complaint's procedure
- Stakeholder liaison.

57. A Noise Management Plan and Code of Conduct has also been submitted which relates to the ongoing use of the facility. It deals with the potential noise sources including car movements and swearing, the noise complaints procedure and recording, the general noise policy and rules to be adhered to by players. The details are to the satisfaction of the Council's Environmental Health Officer and this forms Condition 13. The earth bund and conditioned landscaping will provide some further assistance in reducing any noise levels to neighbouring properties beyond what is specified in the noise assessment.
58. More broadly, the Council's Environmental Health Officer raises no objection with the proposal on these grounds. Notwithstanding, the hours of use of the floodlights are reduced by Condition 14 to 9:15pm Monday to Saturday and 7pm on Sundays and this will provide additional acoustic benefit.
59. The noise generation from the existing smaller MUGA pitch to the east (which is intended for smaller ball sports with fewer participants) is unlikely to have any discernible impact upon the noise generated from the proposed MUGA pitch. Noise associated with vehicle movements is also likely to be low and within the scope of existing traffic movements on Waingels Road. As such, there are no adverse concerns with traffic noise such as cars starting or doors being closed even though it would likely extend up to 15-30 minutes beyond the last use of the facility.

Access and Movement

Car and cycle parking

60. Policy CC07 and Appendix 2 of the MDD Local Plan stipulates minimum off street car and cycle parking standards. In this case, the pitch supplements the existing school facilities and the parking generation rate is applied per number of staff. Alternatively, with its availability for community use, the parking generation rate could also be applied at a rate of 20 car spaces per pitch plus one space per spectator seat and 11 cycle spaces.
61. The site currently has 178 car parking spaces which includes 11 disabled spaces plus an additional 20 motor bike parking spaces. The proposal seeks to utilise these existing facilities as part of the community use agreement.
62. With its dimensions allowing for 11-a-side football (or concurrent smaller games), there is the potential for upwards of 30 additional people attending the school, when accounting for players, officials and spectators. This could, in theory, double to 60 persons when there is any changeover of games. Regardless, any perceived increase in parking and traffic movements from the use of the facility by coaches,

players and spectators will be comfortably accommodated within the existing 178 car spaces and the Council's Highways Officer raises no objection.

63. Condition 17 requires that the pedestrian access gate to Denmark Avenue be closed between 5pm and 7am nightly to deter the parking of vehicles on surrounding streets and using this access point which is situated amongst residential dwellings. This is a replication of the same condition imposed upon the previous permission 173584 and is of relevance here.
64. Existing cycling facilities (well in excess of 11 spaces) are available within the school campus and this is sufficient for the proposed development.

Traffic Generation

65. The pitch will allow for increased after school usage by students, This would have the benefit of reducing peak traffic movements during the afternoon pick up time as more students will remain on the campus after hours and be picked up later in the afternoon.
66. Additional traffic movement is likely to be generated in the evening from the community use, particularly during the football season in the winter months. The Council's Highways Officer has reviewed the proposal and raises no objection as the local road network will be able to accommodate the likely vehicle movements as these movements will predominantly be outside of school hours and mostly outside of peak hours when traffic flows are lower. Furthermore, the sustainable location of the school close to public transport and existing residential areas will likely reduce private car dependence further.

Access, Maneuverability and Traffic Generation

67. Pedestrian and vehicular access will be via the existing two way entrance and exit to the school on Waingels Road and this arrangement is acceptable. A new access for construction purposes is proposed further north along Waingels Road. It is intended to remove conflict with existing school operations and is supported. It is to be constructed to 5.5m width which allows two way access and there is sufficient room within the site to allow for forward movement to and from the site. Gates are to be located 10m inside the site to remove the potential for traffic conflict. Visibility splays at this entrance have been shown to 120m distance which is satisfactory for a speed limit of 40mph and acceptable when it involves the movement of slower construction vehicles. It is accommodated without requiring any tree removal or pruning.

Construction Management

68. As a separate construction access is proposed via Waingels Road, with ample space within the site well removed from the main school buildings and heras fencing segregating pupils, staff, visitors and public from the construction operations, there is no identifiable need for a Construction Method Statement or Management Plan.

Flooding and Drainage

69. Policy CC09 of the MDD Local Plan requires consideration of flood risk from historic flooding. The site and access thereto is located within Flood Zone 1 and the proposal

represents no additional flood risk or vulnerability, particularly where there is no change in use. A flood risk assessment would be required where it is more than one hectare in area but the size of the pitch itself is in the vicinity of 7500m². The proposal is therefore acceptable in terms of Policy CC09.

70. Paragraph 163 of the NPPF aims to incorporate sustainable drainage systems and Policy CC10 of the MDD Local Plan requires sustainable drainage methods and the minimisation of surface water flow. The NPPG also specifies the hierarchy for discharge of surface run off as being (1) (infiltration), (2) to a surface water body, (3) to a surface water sewer, highway drain, or another drainage system or as a last resort, (4) to a combined sewer.
71. An Impermeable Plan was submitted with the application, indicating that approximately 8000m² of additional hardstanding is proposed and that there will be increased surface runoff. Soakaways were considered unviable on account of soil conditions and there are no nearby surface water bodies. The only feasible option was via the Council sewer on Waingels Road, with connection north of the proposed pitch.
72. The Council's Drainage Officer has reviewed the proposal and raises no objection with the method of disposal of pitch surface water being via the surface water sewer. Attenuation is provided via the porous pitch construction with quarterly check dams and inspection chambers with 40mm orifice plates to restrict flows to 2L/sec, which is no worse than the existing greenfield rate. Calculations supporting the sufficiency of the system and amount of the flow demonstrate that there will be no flooding for events up to and including the 1 in 100-year flood event with a 40% allowance for climate change. The Council has not opposed connection to its system on this basis.
73. Thames Water were also consulted and raise no objection in terms of any likely impact upon their system.
74. It is therefore acceptable in terms of Policy CC10.

Construction Sustainability

75. Policy CC04 of the MDD Local Plan and the Sustainable Design and Construction SPD require sustainable design and conservation. The development has adopted positive sustainable design solutions, including reuse of excavated material for use in the bund, imported sub base aggregate for the pitch foundations from local quarries and time sensitive floodlights to avoid for unnecessary illumination before dusk or past curfew. There is also no intention to utilise the Thames Water supply. On this basis, the proposal is acceptable.

Landscape and Trees

76. Policy CC03 of the MDD Local Plan aims to protect green infrastructure networks, promote linkages between public open space and the countryside, retain existing trees and establish appropriate landscaping and Policy TB21 requires consideration of the landscape character.
77. The boundaries of the school are bordered by mature trees and dense road-side understory in places but the pitch itself will be centrally located on existing playing

fields where it will not pose any adverse impact to existing trees. Likewise, the path is along the edge of the playing fields and poses no issue and the bund is located outside of the RPA of all trees.

78. The application was accompanied by an Arboricultural Survey and Method Statement, dated November 2020, which has been reviewed and is acceptable. The access road will pass through the RPA of two trees on the northern side of Waingels Road - T8 (Oak to 12m height) and T6 (a Hazel to 5m). However, with a cellular confinement system such as Cellweb proposed as part of the ground construction, it is achievable without long term harm. Tree Protection Fencing within the Construction Exclusion Zone will protect the remaining trees and the canopy spread of T6 and T8.
79. The drainage connection is to the north east, which may impact on a larger Oak tree growing in the verge of Waingels Road. Further details will need to be submitted to ensure that the method of connection is satisfactory.
80. Four trees – T15 (Sweet chestnut to 12m height and T9-11 (3 x Lawson Cypress to 5m) are proposed for removal although the removal of the three Cypress, all small species, is to remove interference with T8, a much more prominent tree. Crown reduction is also proposed to T8 to reduce future failures.
81. The Council's Trees Officer has reviewed the proposal and raises no objection, particularly when recognising that the access is temporary and replacement and enhanced planting can be conditioned. These landscaping details are required by Condition 9 as a landscape plan was submitted but it refers to seeding and does not include any replacement tree planting. An updated Arboricultural Method Statement and compliance with its associated recommendations is also required by Condition 4.
82. The proposed access is broadly opposite nominated Ancient Woodland in Norris's Copse to the south. The proposal would therefore need to accord with the standing advice provided by Natural England and the Forestry Commission. Broadly, the intent is to conserve and enhance biodiversity and reduce the level of impact of the proposed development on ancient woodland.
83. Because the development is separated from the ancient woodland by Waingels Road and up to 90m between the pitch and the northern extent of the woodland, there is a sufficient buffer and the development will be no loss of the ancient woodland, no change to existing access and no compaction of soil around the trees and no apparent change to the landscape character of the area.
84. There would ordinarily be the potential for some changes to the water table or drainage and increased pollution but this is managed by controlled release of surface water, as detailed in paragraphs 71-72. There is also the potential for night time light pollution from the floodlights, but this is adequately mitigated, as detailed in paragraphs 87-90. Traffic movements will likely increase in the afternoon and evening period but it is not sufficient to warrant concern. Beyond the measures taken in the conditions already imposed, the level of harm is minimal and any further mitigation is considered unnecessary.

Ecology

85. Paragraphs 170 and 175 of the NPPF seek to minimise impacts on, conserve or enhance biodiversity and provide net gains for biodiversity improvements. Policy CP7 of the Core Strategy states that sites designated as of importance for nature conservation are to be conserved and enhanced and inappropriate development will be resisted. Policy TB23 of the MDD Local Plan requires the incorporation of new biodiversity features, buffers between habitats and species of importance and integration with the wider green infrastructure network.
86. To the south-west is Norris Copse Bird Sanctuary Local Wildlife Site which contains a patch of ancient woodland that is likely to support roosting of bats. To the north of the site runs an unlit railway line and a golf course which are also likely to be important foraging sites for bats. Both areas would also support birds.
87. The primary issue with the development relates to the light spill from the 15m floodlights upon bats, a light sensitive species group, and the foraging and commuting across and around the site. The application was not supported by a Preliminary Ecological Appraisal or Ecological Impact Assessment to consider the potential impacts upon protected species and species of principal importance. However, the Council's Ecology Officer has reviewed the proposal and does not raise any in principle objection to the installation of the lights.
88. Bats emerge from their roosts and start foraging at dusk (approximately 30 minutes after sunset). Impacts on bats can therefore be reduced by restricting the times at which lights can be switched on depending upon the time of year.
89. The use of the facility (and presumably the operation of the lights) was initially proposed to 10pm Monday to Saturday. During winter (November to March) bats are usually hibernating, so bats are unlikely to be affected by lighting during this period. During summer, the lights would be used less often because bats would be commuting and foraging later and there would be fewer football competitions during the off season. The shoulder months for bat activity (May and September-October) is this period where there is potential for harm to bats, as they are in transition into or out of hibernation. There is sufficient justification, therefore, to limit the use of the floodlights to 9:15pm Monday to Saturday (see Condition 14), to minimise the overlap between foraging and the need for artificial lighting after sunset. The operating hours of the floodlights on Sunday raise no particular issue during the shoulder months because of the earlier finishing time.
90. The Council's Ecology Officer is of the view that the 'LO' option (full spill light control (integrated louver)) is the most appropriate option for the semi-rural setting to minimise the light spill out of the target area and reduce the impact on light sensitive protected species. Confirmation of this is in Condition 15.
91. The existing field is amenity grassland and the proposal represents the loss of this low distinctiveness habitat as a result of its conversion to an artificial pitch. To sufficiently compensate for the biodiversity net loss, appropriate seeding mix or grassland habitat is required. Provisional landscaping details have since been provided but these have not been confirmed as acceptable and so still form part of the details as required by Condition 9.

Waste Storage

92. The development complements existing school facilities and does not represent any significant increase in waste generation, particularly when it is a synthetic, all weather pitch and as most after-hours participants will be visiting the site for a short time frame. Any refuse can be disposed of using existing facilities. As such, no objection is raised.

Contamination

93. The area is listed as potentially contaminated with landfill gas on the Council's inventory and an initial Site Investigation Report accompanied the application dealing with the matter of site contamination. The report noted that there *"was no ground or soils exhibiting obvious contamination. Therefore, the soils are considered unlikely to exhibit significant contamination or present a risk to human health and at this stage no contamination testing has been undertaken. If any made ground soils are encountered and require offsite disposal to landfill, laboratory testing may be required to allow classification under WM3 and the Waste Acceptance Criteria."*
94. The Council's Environmental Health Officer has raised no in principle objection to the proposed development but has recommended a condition requiring further details if unexpected conditions are encountered. This is detailed at Condition 7.

CONCLUSION

95. The proposed AGP, including fencing, lighting, storage, hardstanding, pathways and bund, are considered to be acceptable in principle, and it would not be harmful to the character of the area, including in its countryside setting. There is an identified and funded need for the pitch and its provision will provide a good quality, accessible, durable and all weather football asset as part of improved and expanded facilities available at the College and for the local community.
96. Recommended approval of the development is subject to satisfactory management of the pitch to address noise disturbance, general day to day management and maintenance (Conditions 10, 11, 13 and 15) and a reduction in the operating hours of the floodlights to 9:15pm to maintain consistency with the existing approval and to protect nearby bats (Condition 14). There is also a satisfactory outcome on traffic and drainage grounds.

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PLANNING REF : 203456
PROPERTY ADDRESS : 30 Park View Drive South
: Charvil, Wokingham
: RG10 9QX
SUBMITTED BY : Charvil Parish Council
DATE SUBMITTED : 21/01/2021

COMMENTS:

Charvil Parish Council would like to make the following comments:

1. We note in the Design and Access Statement that planning permission was granted for a similar proposal in 2018 (application 173584) but the school has not gone ahead with this after listening to local concerns about noise and light pollution. This proposal was some 90 metres away from the nearest homes. This plan is only 66

metres away from the nearest houses, at the more rural end of the school. The change in location may have less to do with concerns about residents and more about how it suits the school better. We would appreciate it if the concerns of ALL residents were taken into account.

2. The residents in Waingels Road are concerned about noise late into the evening six days a week. To mitigate the noise we appreciate there will be a 2metre bund with trees planted, and while this will reduce the visual impact, it will not be high enough to reduce noise. If the plan is to be approved, could the hours of use be limited to 8 am 9 pm MonFri, and 8am6pm on both Saturday and Sunday.

3. Residents in Waingels Road have informed us that they are not allowed much external lighting because of the proximity of bats and roosting birds. This is because as one goes down Waingels Road toward Charvil, there is more woodland, and the school abuts a patch of ancient woodland at the Charvil end. So, it seems odd that

floodlights will be allowed so close to what appears to be regarded as an area of importance to the local habitat.

4. Council has concerns that while there is good cycle provision from the Woodley direction, there is none from the Charvil direction, and we feel that improvements to the cycling provision from Charvil should be a condition of this plan being approved.

5. Although the original application makes no mention of it, there is now a proposed emergency access onto Waingels Road. Council has concerns about the safety of another access point from a pedestrian point of view could the emergency access not be through the school as at Piggott?

6. Waingels Road has a traffic constriction on it to discourage use of the road as a rat run, as it is recognised that is not suitable for large amounts of traffic. The pitch at Piggott certainly generates a great deal of extra traffic, as does Goals at Bulmershe, and we would assume a similar scenario on Waingels Road. It is already unsafe for vulnerable road users at night, and this will only become worse. The assumption in the Design and Access statement is that users will only come from Woodley, but nothing is that straightforward. If the plan is to be approved, could the speed limit be reduced to 30mph for the whole of Waingels Road?

7. Charvil Parish Council has no issue with the provision of extra facilities, and appreciate that as an academy, Waingels needs to maximise income, but we are concerned that this is coming at an unacceptable cost to the existing community as this plan stands.

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PLANNING REF : 203456
PROPERTY ADDRESS : The Oakwood Centre
: Headley Road, Woodley, Wokingham
: RG5 4JZ
SUBMITTED BY : Woodley Town Council
DATE SUBMITTED : 27/01/2021

COMMENTS:

The Committee recommended that this application be refused on the following grounds:

Concerns that the proposal will exacerbate the existing flooding problems in Waingels Road. It is imperative that a sustainable drainage system is installed as part of the development, but there is no mention of this in the application documents.
The proposal will lead to more traffic on Waingels Road and will exacerbate the existing traffic problems.

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SU7674
174919

477000

477100

477200

477300

477400

477500

SU7774
174919

NOTES

174900

174900

174800

174800

174700

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174338
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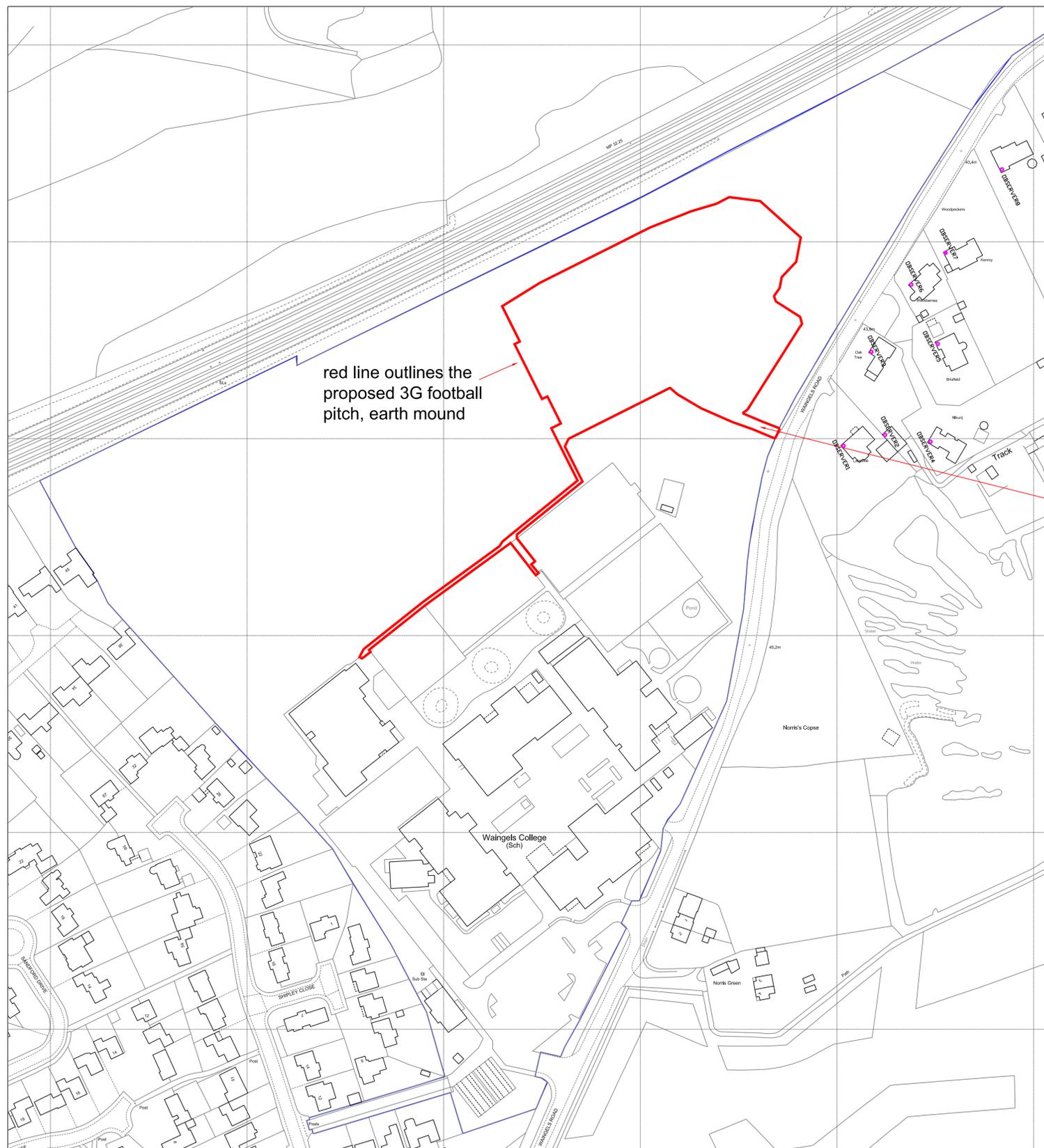
477200

477300

477400

477500

174338
SU7774



red line outlines the proposed 3G football pitch, earth mound

red line allows access from highway

49

Rev	A	m	e	n	d	m	e	n	t	Date	By
-											

Client
WAINGELS COLLEGE

Project
FA Framework 3G STP

Drawing
Proposed Location Plan

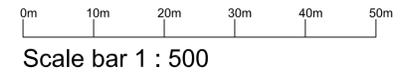


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Checked		Plot No	01	Prelim	Check Final

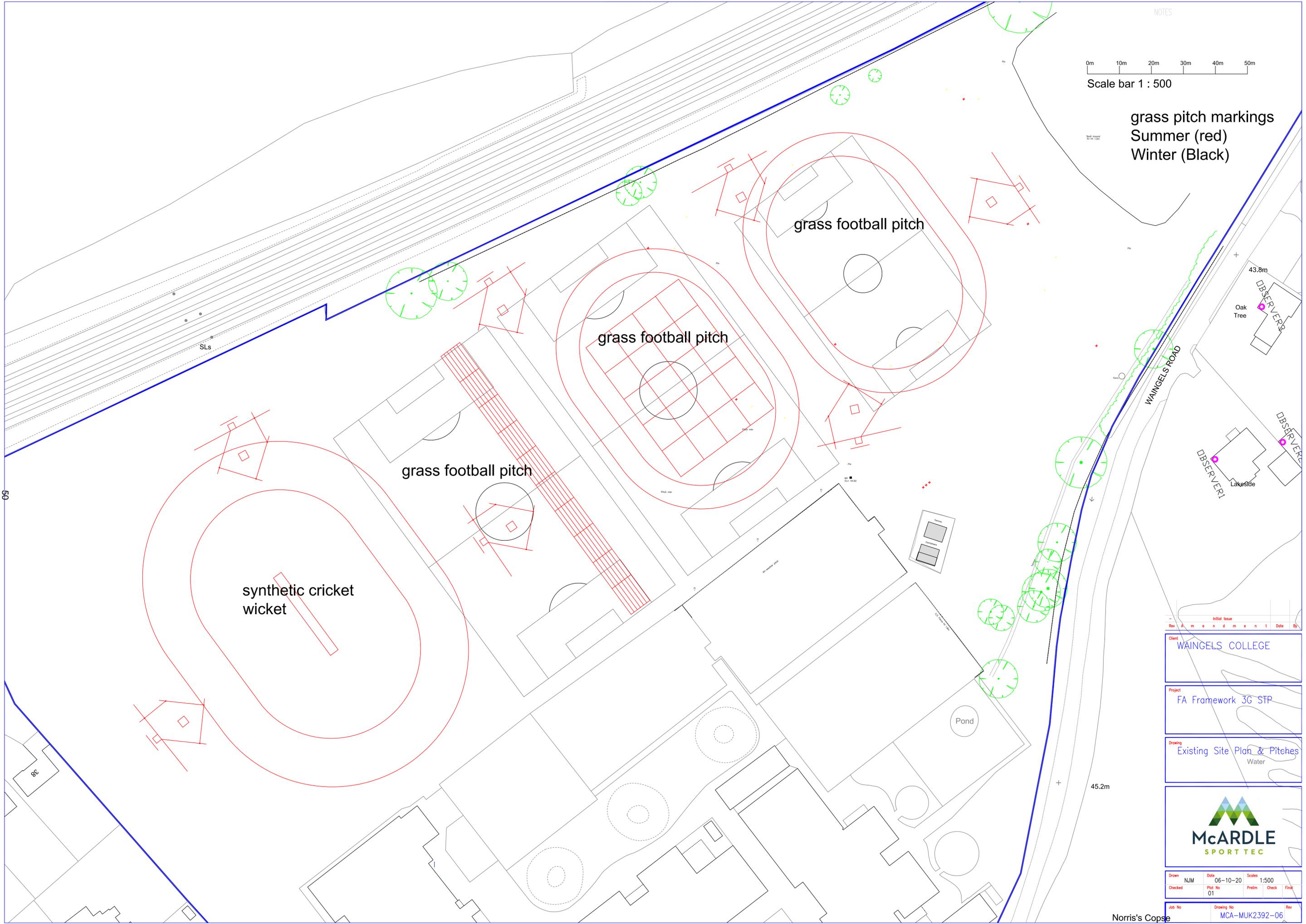
Job No	Drawing No	Rev
	MCA-MUK2392-08	C

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NOTES



grass pitch markings
 Summer (red)
 Winter (Black)



09

SLs

synthetic cricket wicket

grass football pitch

grass football pitch

grass football pitch

Pond

WAINGELS ROAD

43.8m

Oak Tree

Lakeside

Rev	Initial Issue	Date	By

Client
 WAINGELS COLLEGE

Project
 FA Framework 3G STP

Drawing
 Existing Site Plan & Pitches
 Water

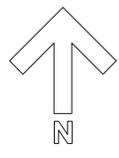
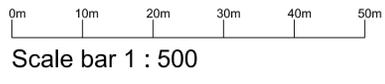


Drawn	Date	Scales
NUM	06-10-20	1:500

Checked	Plot No	Prelim	Check	Final
	01			

Job No
 Drawing No
 Rev

Norris's Copse
 MCA-MUK2392-06



additional approx. 1.3m high grassed earth mound on top of existing 1.2m high mound constructed from excavated topsoil & have 1:3 bank sides

FA 3G STP
100x 64m Floodlit Pitch

New grass pitch markings
Summer (red)
Winter (Black)

approx. 2.5m high grassed earth mound constructed from excavated topsoil & have 1:3 bank sides

Floodlit All weather mini pitch

2.5m porous asphalt path

macadam tennis courts

additional 2.5m wide porous asphalt path to connect to changing room block

macadam tennis courts

changing rooms & maintenance shed

WAINGELS ROAD

DBSERV1

43.8m
Oak Tree
DBSERV2

DBSERV1
Lakeside
DBSERV2

45.2m

Rev	Amendment	Date	By

Client
WAINGELS COLLEGE

Project
FA Framework 3G STP

Drawing
Proposed Site Layout



Drawn	Checkd	Date	Scale
NJM	01	06-10-20	1:500

Job No	Drawing No	Rev
	MCA-MUK2392-02	F

NOTES

- SG Single Gate
- DG Double Gate
- FL Floodlight column
- GSA Goal Storage Area



Rev	Amendment	Date	By
-	Initial Issue		

Client
WAINGELS COLLEGE

Project
FA Framework 3G STP

Drawing
Proposed Pitch Layout

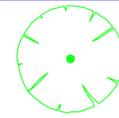
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Checked	01	Prelim	Check	Final	

Job No	Drawing No	Rev
	MCA-MUK2392-07	E



0m 2m 4m 6m 8m 10m 12m 14m 16m 18m 20m 22m 24m 26m 28m 30m 32m 34m 36m 38m 40m

Scale bar 1 : 200



NOTES

- SG Single Gate
- DG Double Gate
- FL Floodlight column
- GSA Goal Storage Area

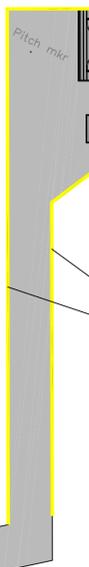
1.2m high fencing with 200mm high infill retaining boards

2m high fencing with 200mm high infill retaining boards

4.5m high fencing with 500mm high infill retaining boards

4.5m high fencing with 200mm high infill retaining boards

53



1.2m high fencing

MH CL= 44.92

Rev	Amendment	Date	By
-	Initial Issue		

Client
WAINGELS COLLEGE

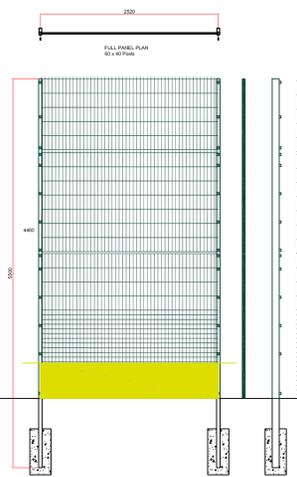
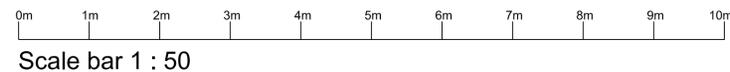
Project
FA Framework 3G STP

Drawing
Proposed Fence Layout

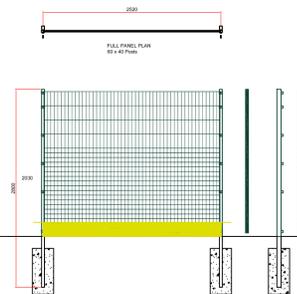


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Checked	Plot No	Prelim	Check	Final
	01			

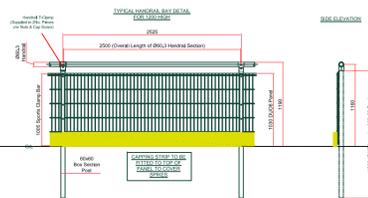
Job No	Drawing No	Rev
	MCA-MUK2392-09	C



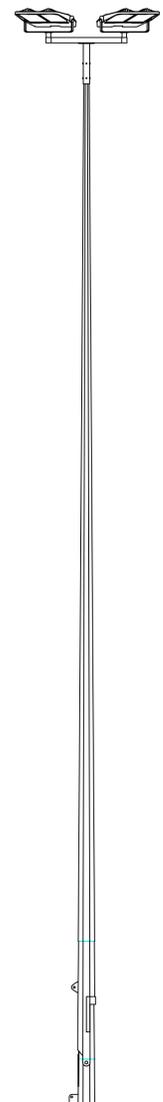
Front view
4.5m high ball stop fence around pitch with 500mm high infill retaining boards



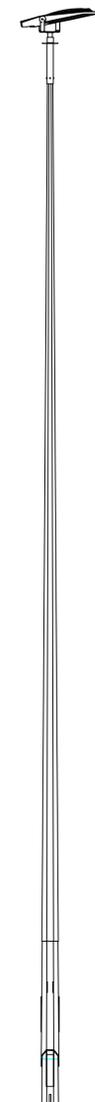
Front view
2m high ball stop fence around goal storage area in spectator area with 200mm high infill retaining boards



Front view
1.2m high spectator fence with 200mm high infill retaining boards



Front view
15m high floodlight mast with luminaries



Side view
15m high floodlight mast with luminaries

Rev	Amendment	Date	By
-	Initial Issue		

Client
WANGELS COLLEGE

Project
FA Framework 3G STP

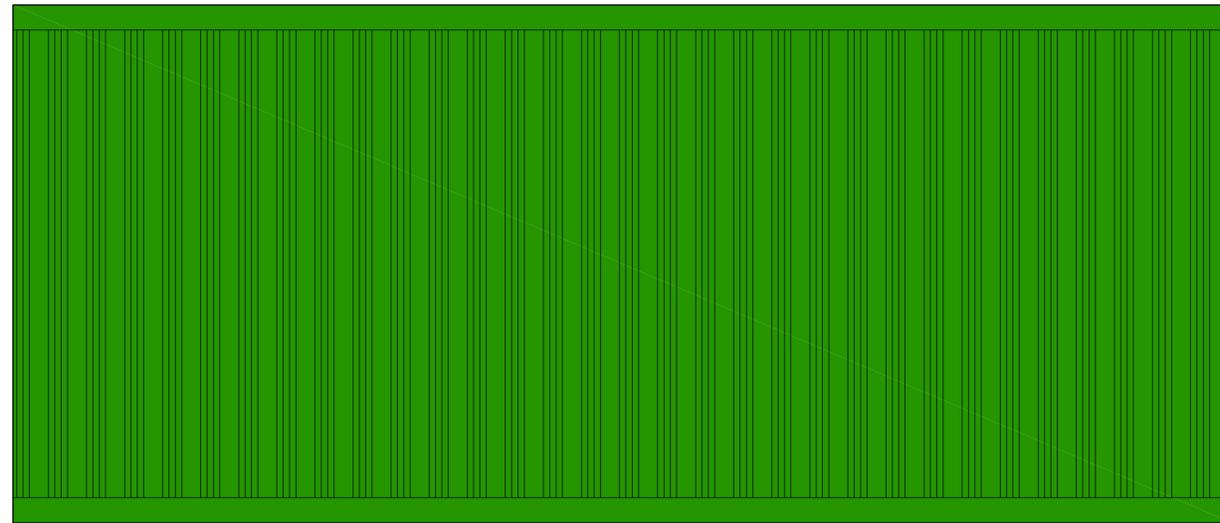
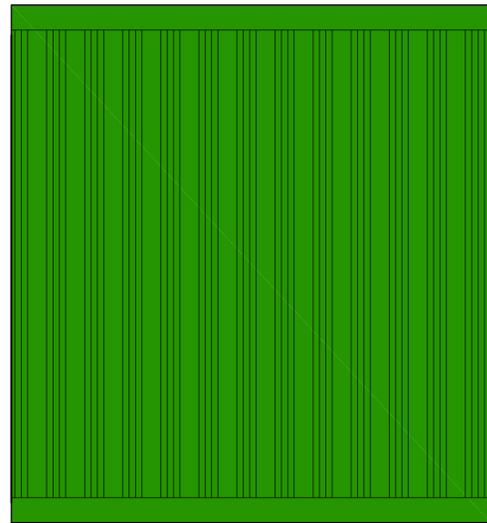
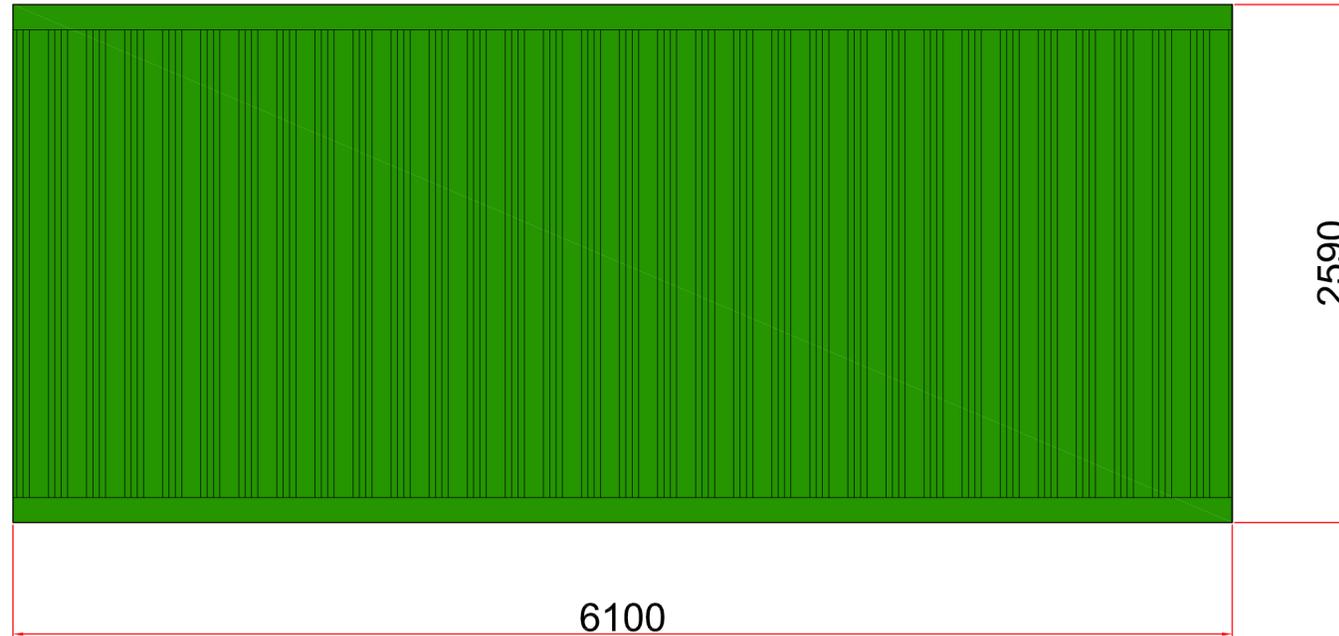
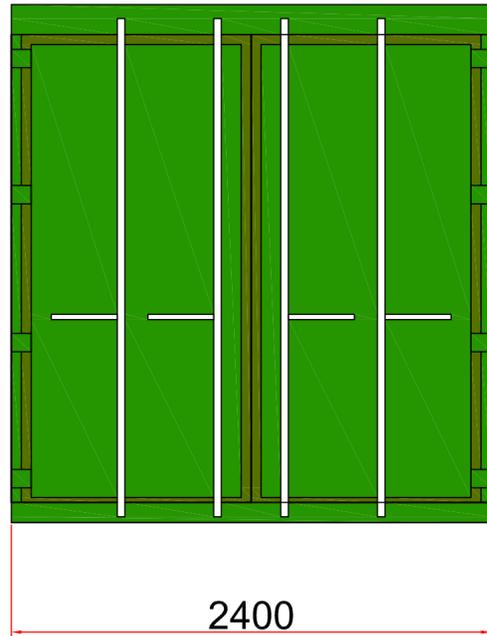
Drawing
Proposed AGP Elevations



Drawn	Date	Scales		
NJM	07-10-20	1:50		
Checked	Plot No	Prelim	Check	Final
	01			

Job No	Drawing No	Rev
	MCA-MUK2392-10	

54



ELEVATIONS 1:25



Scale bar 1 : 25

Client
WAINGELS COLLEGE

Project
STANDARD DRAWING

Drawing
CONTAINER ELEVATIONS



Drawn HJ	Date 07-10-20	Scales 1:25
Checked	Plot No 01	Prelim Check Final

Job No	Drawing No MCA-MUK2392-18	Rev
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NOTES

Floodlighting Equipment
 6 x 15m Masts (M1-M6)
Floodlighting Equipment
 6 x 15m Masts (M1-M6)
 9 x Halliday LED Bollards (B1-B9)
 Each carrying the following Floodlights :-
 M1-M6
2 x Philips BVP527 NB/A55

Lamps = Philips LED - 220,880 Lumen

Illuminance Levels
Initial -
 (100hrs) E.i.ave = 224Lux
Maintained -
 (4000hrs) E.i.ave = 202Lux

Uniformity
 Emin/Eave = 0.61

Grid values in Lux(initial).
 Grid interval = 5m.
 Contour values in Lux (initial).
 Contours: 5, 15, 25, 50 Lux.

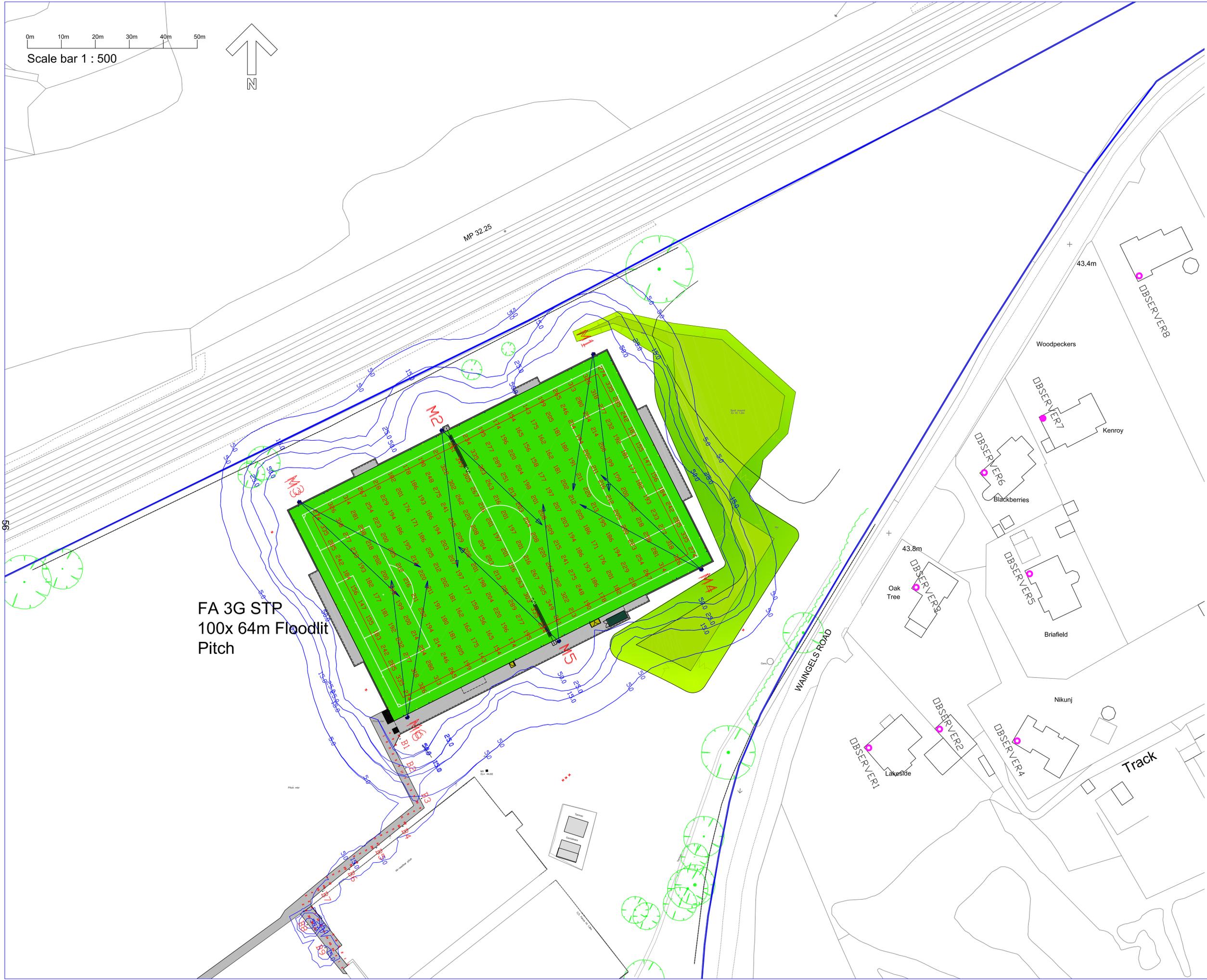
Maintenance Factor = 0.90

Source Intensity Calcs (Candelas):

- Observer1: 5858cd
- Observer2: 4418cd
- Observer3: 3051cd
- Observer4: 3830cd
- Observer5: 2666cd
- Observer6: 2068cd
- Observer7: 1776cd
- Observer8: 2046cd

Light Readings (Lux):

- Observer1: 0.8Lux
- Observer2: 0.5Lux
- Observer3: 0.8Lux
- Observer4: 0.4Lux
- Observer5: 0.3Lux
- Observer6: 0.4Lux
- Observer7: 0.3Lux
- Observer8: 0.1Lux



FA 3G STP
 100x 64m Floodlit
 Pitch

Rev	Initial Issue	Date	By
A	Amendment		

Client
WAINGELS COLLEGE

Project
FA Framework 3G STP

Drawing
Proposed Sports lighting Scheme



Drawn	Date	Scale		
NUM	09-10-20	1:500		
Checked	Plot No	Prelim	Check	Final
	01			

Job No	Drawing No	Rev
	MCA-MUK2392-12	E

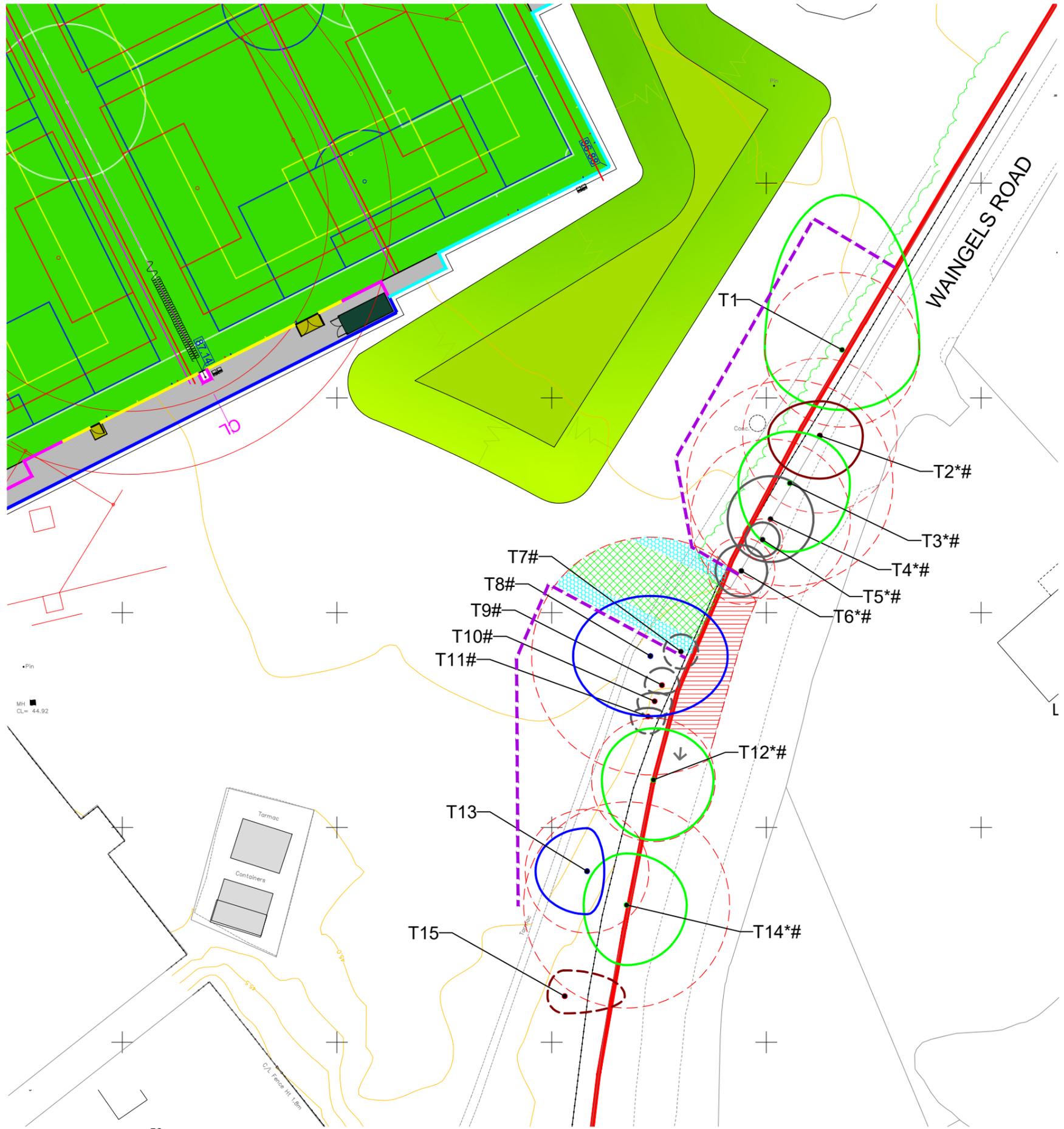
Key

-  Site boundary.
-  Tree with numbered reference. Canopy spread and BS5837:2012 tree quality category as shown below.
-  Tree (location estimated) with numbered reference. Canopy spread and BS5837:2012 tree quality category.
-  Tree off-site with numbered reference. Canopy spread and BS5837:2012 tree quality category.

- BS 5837:2012 Tree Quality Categories - Table 1
- Category A - High quality
 - Category B - Moderate quality
 - Category C - Low quality
 - Category U - Unsuitable for retention

-  Root protection area (RPA) Calculated in accordance with Section 4.6 - BS5837:2012
-  Tree to be removed with numbered reference. Canopy spread and BS5837:2012 tree quality category.
-  Temporary protective fencing in accordance with Section 6.2 - BS5837:2012. See inset details for example barriers.
-  Above ground construction requiring "No-dig" design principles; where new surfacing is proposed within area of existing building/ hard surfacing the new construction to utilise existing levels, reusing sub-base and wearing courses within new construction, all in accordance with the Arboricultural Method Statement.
-  Surface area to be protected in accordance with the Arboricultural Method Statement JSL3812_770.
-  Existing hard surface to remain as part of the construction of proposed access.

- NOTES:
- Refer to RPS Tree Survey Report & Schedule for further details.
 - Survey based on a visual inspection from the ground and is not intended as a full arboricultural inspection.
 - Plan produced in accordance with recommendations set out in BS 5837:2012 - 'Trees in Relation to design, demolition and construction'.
 - Due to the legal protection afforded to breeding birds vegetation removal should not take place during the bird nesting period; generally, although not restricted to, March - August inclusive.
 - Survey based upon topographic survey provided by The Client.
 - Pedestrian/ vehicular emergency access routes to be maintained at all times.
 - All protective fencing to be completed and approved by LPA/ CA prior to commencement of any site works.
 - All works to conform with requirements of:
 - BS 3998:2010 - Tree Works
 - BS 5837:2012 - Trees in relation to design, demolition and construction



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A	Updated as per client comment	JRL	SK	10/12/20
Rev	Description	By	CB	Date



Lakesbury House, Hittingbury Road, Chandlers Ford, Hampshire SO53 5SS
 T: 02380 810 440 E: rpsso@rpsgroup.com

Client **McArdle Sport Tec Ltd**
 Wallingford

Project **Waingels College,**
 Woodley, Reading

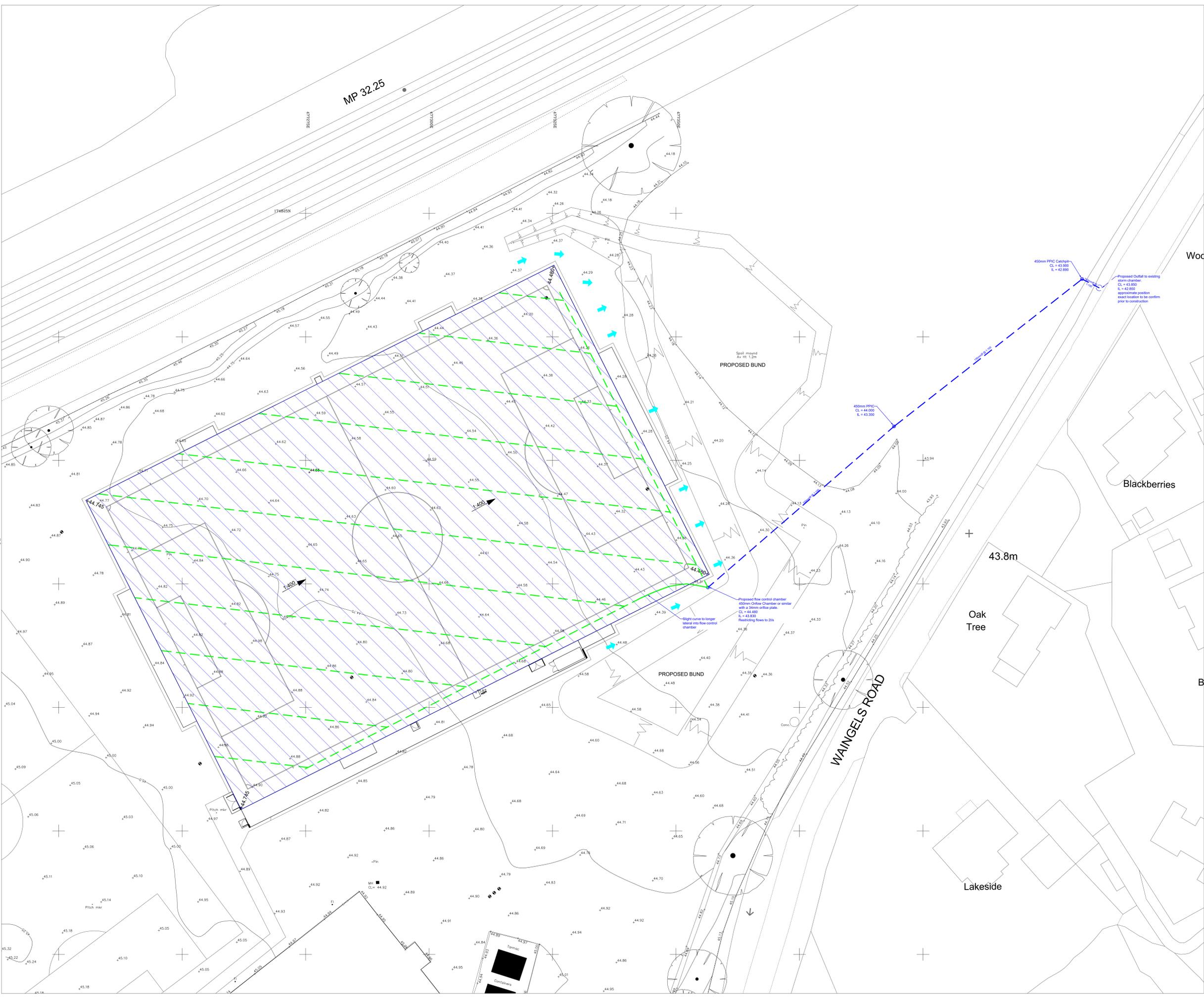
Title **Tree Protection / Removal Plan**

Status **For Planning** Drawn By **SK** PM/Checked by **BW**

Job Ref **JSL3812** Scale @ A3 **1:500** Date Created **October 2020**

RPS Drawing / Figure Number **710** Rev **A**

rpsgroup.com



GENERAL

Do not scale from this drawing.

All dimensions are in millimetres unless noted otherwise.

All setting out to architects drawings.

Drawing to be read in conjunction with all other SEA drawings and architects drawings.

This scheme has been designed using the survey information provided by others. It shall be the responsibility of the contractor to verify levels, boundaries etc prior to commencing any works on site. SEA Structural Engineers Ltd. shall not accept any responsibility for errors resulting from the survey.

All setting to be in accordance with the Architect's drawings. The Contractor is to check all dimensions and levels prior to commencement of work and report any discrepancies to the Engineer, including any encountered during construction works.

All dimensions should be checked on site prior to construction. Please notify the Engineer of any discrepancies before commencing or continuing any work.

HEALTH, SAFETY & THE ENVIRONMENT

In accordance with the Health and Safety at Work etc Act 1974 and the Construction (Design and Management) Regulations 2015, designs and details on this drawing have been the subject of a Designers Risk Assessment, to identify risks in construction, use, or demolition of the scheme.

It is not considered necessary for Designers to highlight obvious and/or common risks (such as deep excavations, manual handling and working around heavy plant) which Contractors should be familiar with.

So far as is reasonably practicable, risks inherent in the design have been eliminated. Where it has been considered that elimination of a risk (or part of a risk) is not reasonably practicable, it has been reduced.

Significant unusual residual risks are identified below, beside the measures which have been adopted to eliminate and/or reduce them.

None identified.

STORM DRAINAGE DESIGN STATEMENT

In accordance with the storm drainage hierarchy we have considered use of infiltration techniques, outfall to watercourse and finally outfall to sewers, each presented below:

Outfall to ground (infiltration)

Soakaway testing was carried out in the area of the new pitch by Solitechnics. Ground Water levels were found to be very shallow, 0.5-0.60m below existing ground levels. The use of soakaways have been discounted due to the ground water levels and being unable to provide a minimum 1m depth from base of soakaway to peak ground water levels.

Outfall to Watercourse

There are no watercourse close to the pitch.

Outfall to Sewers

The nearest storm water drains are located within Waingels Road, adjacent to the development. This drainage is owned and maintained by Wokingham Borough Council who have been consulted regarding the proposals and have agreed in principle the point of connection as shown on the adjacent plan.

Design Criteria

The drained area for the proposed pitch used in the design calculations = 7975m²

Based on the above drained area a greenfield runoff rate has been calculated using the SUDS UK online tool. Cbar for has been calculated as 1.331%. Flow restrictions less than 2.0% are not usually advised due to long term maintenance issues. Therefore flow from the pitch will be restricted to 2.0%.

Cautionary flow has been used to model the Attenuation for the pitch which will be provided within the 250mm type 3 permeable subbase with 20% voids. The pitch has been designed for the 1 in 30 year storm event. During the 1 in 100 + 40% storm event the calculations indicate flooding with a volume of 81m³.

Flood water will be contained close to the pitch with the provision of new bunding to the east as indicated on the development plans. This will ensure that the flooding will not impact on any 3rd party land or buildings.

Water Quality

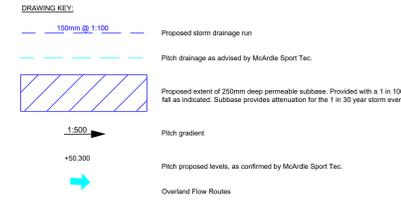
The use of SUDS has been considered and the use of a permeable subbase for the pitch drainage and car park will provide adequate water quality treatment in accordance with the SUDS manual.

Overland Flows

In the unlikely event of system failure. Overland flows will be directed away from any building towards the east and contained adjacent to the new bunding.

DRAINAGE KEY:

- 150mm @ 1:100 Proposed storm drainage run
- Pitch drainage as advised by McAndie Sport Tec.
- Proposed extent of 250mm deep permeable subbase. Provided with a 1 in 100 fall as indicated. Subbase provides attenuation for the 1 in 30 year storm event.
- 1:500 Pitch gradient
- +50.300 Pitch proposed levels, as confirmed by McAndie Sport Tec.
- Overland Flow Routes



DRAINAGE MAINTENANCE

Maintenance of the car park and pitch will be undertaken by Waingels College. The following maintenance schedule shall be used:

Pipe systems, inspections chamber and manholes

Maintenance Category	Required Action	Frequency
Regular Maintenance	Inspect and identify areas that are not operating correctly. If required, take remedial action	Monthly (for the first 3 months) then six monthly
	Debris removal from catchment surfaces (where may cause risks to performance)	Monthly
Remedial Actions	Remove sediment from pre-treatment structures	Annually or as required
	Remove blockages	As required
	Cleaning/setting	As required
Monitoring	Repair/rehabilitation of system	As required
	Inspect blocks of pipe or gully system and inspection chambers to ensure that they are in good condition and operating as required	Annually and after large storms

Permeable pitch surfacing and porous subbase

Maintenance Category	Required Action	Frequency
Regular Maintenance	Brushing (standard domestic sweep over whole surface)	Once a year, after the autumn leaf fall, or reduced frequency as required based on site specific observation of chipping or manufacturing recommendations. Particular attention to be paid to areas where water enters porous surfaces from adjacent impermeable areas as this area is most likely to collect sediment.
Occasional maintenance	Stabilise and mow contributing adjacent areas	As required
Remedial Actions	Removal of weeds or management using glyphosate applied directly to the weeds by an applicator rather than spraying	As required - once per year or less frequently based on site observations
	Remediate any landscaping which, through vegetation maintenance steps, has been raised to within 50mm of the level of the paving	As required
	Remedial work to any depressions, rutting and cracked surfacing considered detrimental to the performance of a hazard to users.	As required
Monitoring	Rehabilitation of surface and upper substructure by remedial sweeping	Every 10-15 years or as required if infiltration performance is reduced due to significant vegetation
	Initial inspection	Monthly for 3 months after installation
	Inspect for evidence of poor operation and/or weed growth - if required, take remedial action	3-monthly, 48 hours after large storms in first 6 months
	Inspect silt accumulation rates and catch appropriate brushing frequencies	Annually
	Monitor inspection chamber	Annually

Rev. Date Description

SEA
STRUCTURAL ENGINEERS
CONSULTING CIVIL & STRUCTURAL ENGINEERS
E: enquires@seasstructuralengineers.co.uk
T: 01832 272352

PROJECT: PROPOSED NEW PITCH WAINGELS COLLEGE READING

DRAWING: PROPOSED DRAINAGE LAYOUT

SCALE: 1:250(8A0) DATE: 21.11.2020
DRAWN BY: SEA REV: -
STATUS: FOR APPROVAL

DWG No: 2091/E02

Agenda Item 64.

Application Number	Expiry Date	Parish	Ward
203534	15/03/2021	Swallowfield	Swallowfield

Applicant	Mr Kingsbury
Site Address	Loddon Court, Lambs Lane, Swallowfield, RG7 1JE
Proposal	Full application for the proposed change of use of land from agricultural to mixed equestrian/agriculture plus erection a stable buildings with associated hardstanding. (Part Retrospective)
Type	Full
Officer	Mark Croucher
Reason for determination by committee	Major application by reason of the site area being over 1ha.

FOR CONSIDERATION BY	Planning Committee on Wednesday, 10 March 2021
REPORT PREPARED BY	Assistant Director – Place

SUMMARY
<p>The application proposes the erection of a new stable building for 8 horses and a change of use of existing agricultural land to a mixed use of agriculture and paddocks for horses (sui generis). A mixed use of agriculture and equestrian is proposed because the applicant has a small number of sheep that graze the land and the proposal would allow for flexible land management between the small numbers of livestock and horses.</p> <p>The stable building is part retrospective because the base for the building has been laid.</p> <p>Stables and equestrian uses are acceptable in principle in countryside locations. The horses belong the applicant and their family and there would be no commercial aspect to the proposal.</p> <p>There would be no detrimental impact to the character and appearance of the area and the development is in keeping with the rural location. The proposal is satisfactory in all other aspects including impact on trees, highway safety, ecology, residential amenity and flooding and drainage.</p> <p>The application is recommended for approval subject to conditions 1 – 6.</p>

PLANNING STATUS
<ul style="list-style-type: none"> • Countryside • Detailed Emergency Planning Zone (DEPZ) • Potential Contamination Zone • Flood Zone 1 • Grade 3 Agricultural Land • Great Crested Newt Consultation Zone

RECOMMENDATION

That the committee authorise the **GRANT OF PLANNING PERMISSION** subject to the following:

A. Conditions and informatives:

Conditions:

Approved Drawings

1. This permission is in respect of the submitted application plans and drawings titled Location Plan, Block Plan and Proposed Plans and Elevations. The development shall be carried out in accordance with the approved details unless otherwise agreed in writing by the local planning authority.

Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.

Materials

2. The materials to be used in the construction of the external surfaces of the extension hereby permitted shall be timber cladding and black Onduline and Perspex roof as described in the Proposed Plans and Elevation Drawings and the Application Form, unless otherwise first agreed in writing by the Local Planning Authority.

Reason: For the avoidance of doubt and to ensure a satisfactory appearance.

Tree protection details

3.
 - a) No further development or other operation shall commence on site until an Arboricultural Method Statement and Scheme of Works which provides for the retention and protection of trees, shrubs and hedges growing on or adjacent to the site in accordance with BS5837: 2012 has been submitted to and approved in writing by the local planning authority. No development or other operations shall take place except in complete accordance with the details as so-approved (hereinafter referred to as the Approved Scheme).
 - b) No operations shall commence on site in connection with development hereby approved (including any tree felling, tree pruning, demolition works, of a similar appearance to those used in the existing building unless otherwise agreed in writing by the local planning authority. soil moving, temporary access construction and or widening or any other operation involving use of motorised vehicles or construction machinery) until the tree protection works required by the Approved Scheme are in place on site.
 - c) No excavations for services, storage of materials or machinery, parking of vehicles, deposit or excavation of soil or rubble, lighting of fires or disposal of liquids shall take place within an area designated as being fenced off or otherwise protected in the Approved Scheme.
 - d) The fencing or other works which are part of the Approved Scheme shall not be moved or removed, temporarily or otherwise, until all works including external

works have been completed and all equipment, machinery and surplus materials removed from the site, unless the prior approval in writing of the local planning authority has first been sought and obtained.

Reason: To secure the protection throughout the time that the development is being carried out of trees shrubs or hedges growing within or adjacent to the site which are of amenity value to the area, and to allow for verification by the local planning authority that the necessary measures are in place before development and other works commence Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21.

Stable use

4. The stables and associated paddocks hereby approved shall only be used by the occupiers of Loddon Court and their dependants and at no time shall the stables and/or land be used for commercial purposes; or segregated, sold, leased, rented or used separately from Loddon Court by any other persons.

Reason: To ensure that there is sufficient on site accommodation to care for and maintain the stables and horses. To ensure there is no impact on highway safety by reason of increased traffic.

Manure storage

5. Prior to use of the stables commencing, details of the manure storage and waste management shall be submitted to and approved in writing by Local Planning Authority. Such details shall include the location of the manure storage area and details of its removal from site. The development shall be implemented and operated in accordance with the details thereby agreed.

Reason: To ensure no detrimental smells, odours or other environment health impacts occur as a result of the development.

Visibility splays

6. The existing visibility splays for the existing southern access shall be maintained and kept clear of obstruction exceeding 0.6 metres in height and maintained clear of any at all times.

Reason: in the interest of highway safety.

Informatives:

1. Should any Great Crested Newts or evidence of Great Crested Newts be found prior to or during the development, all works must stop immediately and an ecological consultant or the Council's ecologist contacted for further advice before works can proceed. All contractors working on site should be made aware of the advice and provided with the contact details of a relevant ecological consultant.

PLANNING HISTORY		
Application Number	Proposal	Decision
F/1998/66974	Erection of Swimming Pool Enclosure	Refused: 06.03.1998

F/2011/0859	Erection of a single storey side extension to form a conservatory, following removal of glazed linkway.	Approved: 26.07.2011
202583	Full planning application for the proposed change of use of land from agriculture to equestrian with erection of stables. (Part Retrospective)	Withdrawn: 02.12.2020
202926	Application for a certificate of existing lawful development for use of existing caravan ancillary to host dwelling.	Refused: 23.12.2020

SUMMARY INFORMATION
Site Area: 4ha / 9.88 Acres Previous land use: Agriculture Proposed Land use: Mixed use of Equestrian and Agriculture Proposed floorspace of stable: 180 sqm Proposed parking spaces: N/A

CONSULTATION RESPONSES	
WBC Drainage	Recommend approval with no conditions
WBC Environmental Health	Recommend approval with no conditions
WBC Highways	No objection subject to further information
WBC Tree & Landscape	No objection subject to condition

REPRESENTATIONS

Town/Parish Council: No objection to the application but a condition to ensure that the stables are not used as commercial livery without a further planning application.

Local Members: No comments received

Neighbours: 1 letter received in support of the application:

- Happy to support on the grounds that no commercial activity is undertaken from the change of use and the erection of new stabling.

APPLICANTS POINTS
<ul style="list-style-type: none"> • The stables will only be used by family members who live in the house including adult children who the horses belong to, no separate staff are required. The applicant is happy to have a condition to this affect. • The change of use from agricultural to equestrian is considered to be a wholly appropriate use in this countryside location, especially as it promotes rural leisure activity. • The stables will not be visible from the public realm and will be screened by existing trees and planting. • There would be no impact on residential amenity. • There is sufficient land for the horses and local bridleways and byways for riding. • The access to the site is in situ.

- No unacceptable impacts arise from the proposal.

PLANNING POLICY		
National Policy	NPPF	National Planning Policy Framework
Adopted Core Strategy DPD 2010	CP1	Sustainable Development
	CP3	General Principles for Development
	CP6	Managing Travel Demand
	CP7	Biodiversity
	CP8	Thames Basin Heaths Special Protection Area
	CP9	Scale and Location of Development Proposals
	CP11	Proposals outside development limits (including countryside)
Adopted Managing Development Delivery Local Plan 2014	CC01	Presumption in Favour of Sustainable Development
	CC02	Development Limits
	CC03	Green Infrastructure, Trees and Landscaping
	CC06	Noise
	CC07	Parking
	CC09	Development and Flood Risk (from all sources)
	CC10	Sustainable Drainage
	TB21	Landscape Character
	TB23	Biodiversity and Development
Supplementary Planning Documents (SPD)	BDG	Borough Design Guide – Section 4

PLANNING ISSUES

Description of Development

1. The application proposes the erection of an 8 bay stables with internal storage area. The structure will be approximately 9.6m wide, 18.8m long and 4.35m high. The elevations will be timber clad with a black corrugated pitch roof and Perspex panels. There will be a hard surface apron around the building and access track linking to an existing driveway. The development is part retrospective as a hard surfaced base for the building has been laid.
2. The remaining land surrounding stables and within the application site proposes a mixed use of paddocks and agricultural land. This will allow the land to be grazed by the applicant horses and small number of livestock.

Principle of Development:

3. The National Planning Policy Framework has an underlying presumption in favour of sustainable development which is carried through to the local Development Plan. The Managing Development Delivery Local Plan (MDD) Policy CC01 states that planning applications that accord with the policies in the Development Plan for Wokingham Borough will be approved without delay, unless material considerations indicate otherwise.
4. The application site is within the countryside and the principle of stables and an equestrian use is appropriate development in this area and complies with policy CP11 of the Core Strategy. The proposal will result in rural based recreational activity that will promote the enjoyment of the countryside.
5. The size of the stable building and the number of stalls (8) is commensurate with the size of the associated paddocks and the number of horses that could be kept on the land. The site area of the paddocks is 9.88 acres (4ha) and can accommodate 7-8 horses when taking into consideration the Code of Practice for the Welfare of Horses, which suggests 1.25-2.5 acres per horse. Whilst the site area falls marginally short of the overall land requirement suggested by Code of Practice by 0.12 of an acre, the shortfall is negligible and the Welfare for Horses document is only guidance. There is a bridleway and byway close to the site which would be to exercise the horses.
6. Condition 4 is recommended to ensure the stables are for the personal use by the occupiers of Loddon Court only. This is to guarantee there is residential presence on the site to care for the horses. The condition is necessary because 8 horses would require the equivalent of 1.66 full time persons to look after them and ensuring there is a full time residential presence on site associated with stables negates any future requirement for grooms accommodation or separate dwelling on welfare grounds.
7. The site is classed as grade 3 agricultural land and the proposed mixed use of a paddock and agricultural grazing land would result in a compatible use with grade 3 land.
8. Overall, the principle of stables and an equestrian use in the countryside is acceptable and the stable building is commensurate with the associated area for the paddocks.

Impact on character and appearance of the landscape:

9. The stables will be located in a suitable location at the edge of an existing field. The building will not be prominent from the public realm and is screened by trees and hedges. As stated above, the size of the building is commensurate with the area for the paddocks. The stables will be in keeping with the countryside character and appearance of the area.
10. The change of use of the land to a mix of equestrian and agriculture will be in keeping with the character and appearance of the area. The neighbouring fields are used as paddocks and there are also ménages close by. Whilst the existing use of the land is agriculture, the character of the site is more akin to the surrounding curtilage of a residential estate, rather than arable farm land. The proposed paddocks would result in negligible visual change to appearance of the surrounding land.

11. The Council's Tree and Landscape Officer has raised no objection to impact of the development on the countryside.

Trees:

12. The development site is fields bounded by hedgerow and trees. The proposed stables and existing concrete slab would be encroach 17.5% into the Root Protection Area (RPA) of a large oak tree. The Arboricultural Impact Assessment (AIA) states that although the concrete base has been laid, it was erected 100mm above ground level and over an impermeable membrane. Holes will be made in the base so that water can permeate to the tree roots. A number of other recommendations are made in the AIA which include removing existing storage containers in the RPA of the tree and no-gig construction techniques for the access track.
13. The Council's Tree and Landscape Officer considers the measures proposed are acceptable and has recommended approval subject to condition 3, to ensure the trees on site will be suitably protected.
14. The development will have an acceptable impact on existing trees.

Residential Amenities

15. There are no nearby residential dwellings that would be impacted by the development. The nearest property is Spring Cottage and the Coach House and would be approximately 130 metres away from the proposed stables.
16. Stables can result in smells and odours from animal waste and therefore condition 5 is recommended to ensure that manure is sustainably managed and stored. The Environmental Health Team has considered the application and raises no objection.

Access and Movement:

17. The access onto Lambs Lane is existing and a site inspection from the Council's Highway Officer confirmed it to be of suitable width to accommodate a horsebox. This part of Lambs Lane is a cul-de-sac and there are very few traffic movements along this section of the highway.
18. The Council's Highway Engineer has further advised:

'I have no objection in principle on the basis that the proposed stables will be for private use in connection with the applicants own livestock. This is confirmed to be the case within the planning submission. There shall be no livery use and the adjoining equestrian land shall not be used as a riding school or for competitions or events. A condition will be required to this effect.'

19. No formal car parking is proposed and there are multiple areas for informal parking on site. As the horses are owned by applicant and their family, the use would not generate significant additional vehicle trips or parking requirements.
20. The proposal will have an acceptable impact on highway safety.

Flooding and Drainage:

21. The site is in Flood Zone 1 where the risk of flooding from rivers is low. There are some areas at risk from surface water flooding but these are limited to the immediate areas around two ponds and part of the existing access drive.
22. The stables and associated hard surfacing would not impact surface water flooding due to the size of the development and the surrounding open undeveloped land. The Council's Drainage Engineer has considered the application and raises no objection.

Ecology:

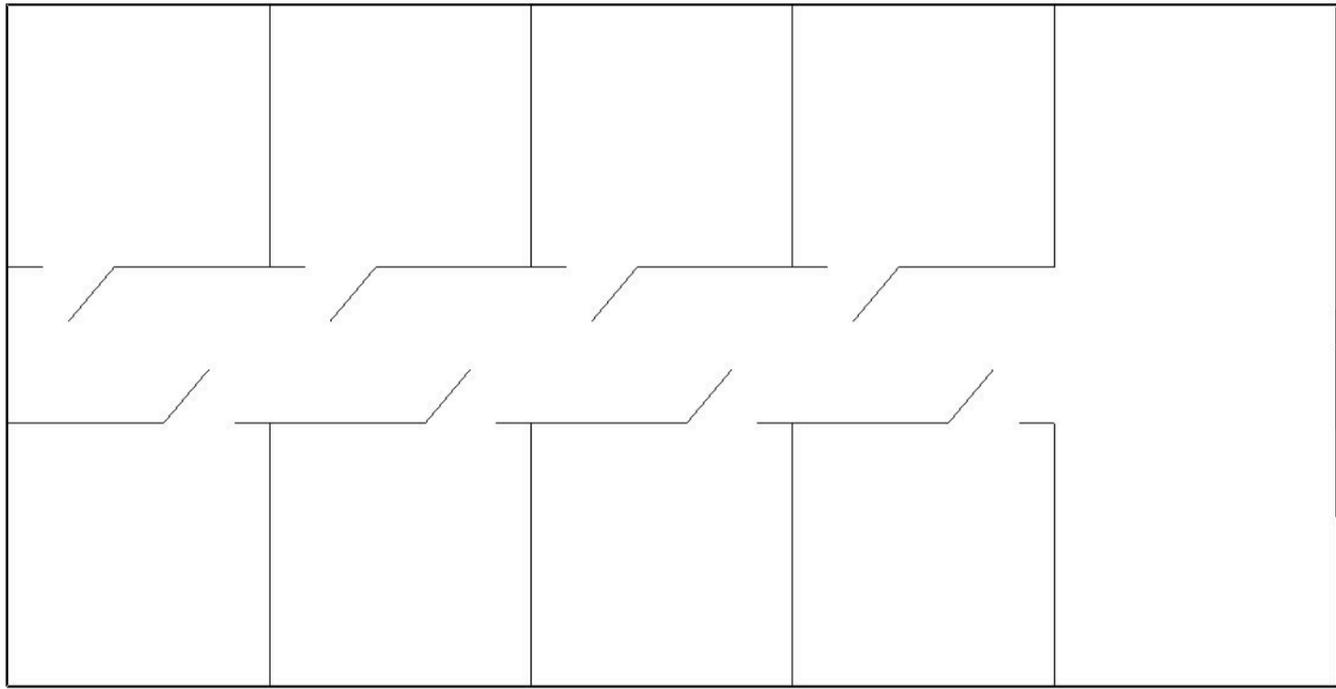
23. There are two ponds in proximity of the application site and part of the site is located within an area that has potential for Great Crested Newts. The stable building is however located outside of a Great Crested Newt (GCN) Consultation Zone and would not result in any detrimental ecological impacts. Whilst the fields are located within a GCN consultation zone, the change of use from agricultural land to a mixed use of paddocks and agriculture would not have detrimental ecological impacts.

The Public Sector Equality Duty (Equality Act 2010):

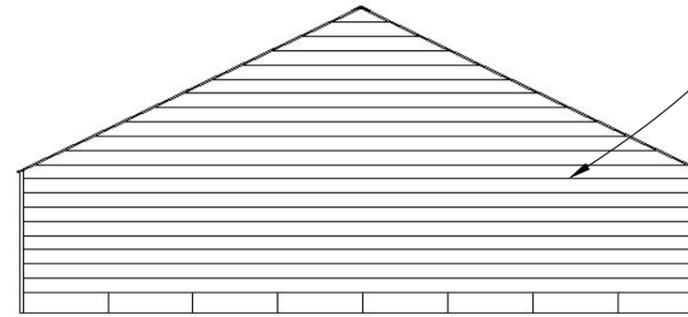
24. In determining this application the Council is required to have due regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief. There is no indication or evidence (including from consultation on the application) that the protected groups identified by the Act have or will have different needs, experiences, issues and priorities in relation to this particular planning application and there would be no significant adverse impacts upon protected groups as a result of the development.

CONCLUSION

25. The proposed equestrian and agricultural development is appropriate for this countryside location and there will be no detrimental impact to the character and appearance of the area. The stables will be located away from neighbouring properties and will not impact the amenity of nearby residents. The stables are for the applicant's horses and there would be no detrimental impact on highway safety. There would be no other detrimental impacts with regard to trees, ecology and flooding and drainage.
26. The application complies with the development plan as a whole and is therefore recommended for approval subject to the recommended conditions 1 – 6.

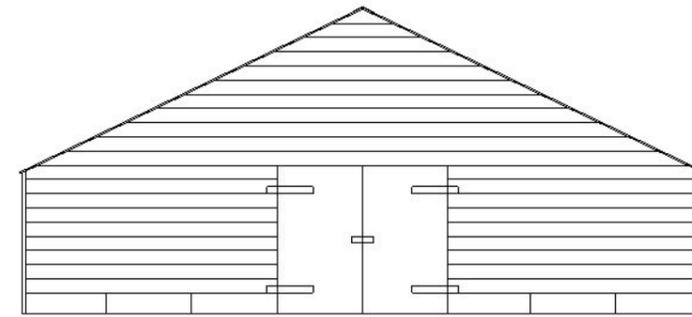


Floor Plan



Rear Elevation

Cladding - Treated Redwood

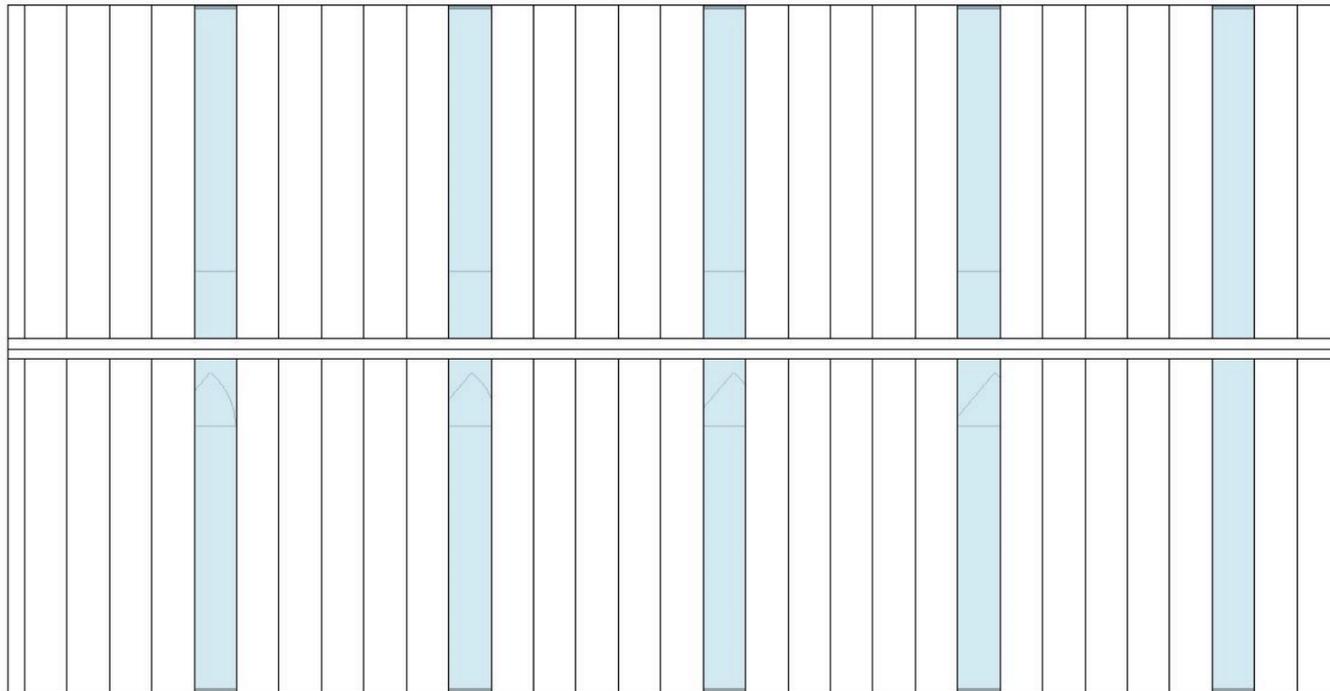


Front Elevation

Roof: Black Onduline

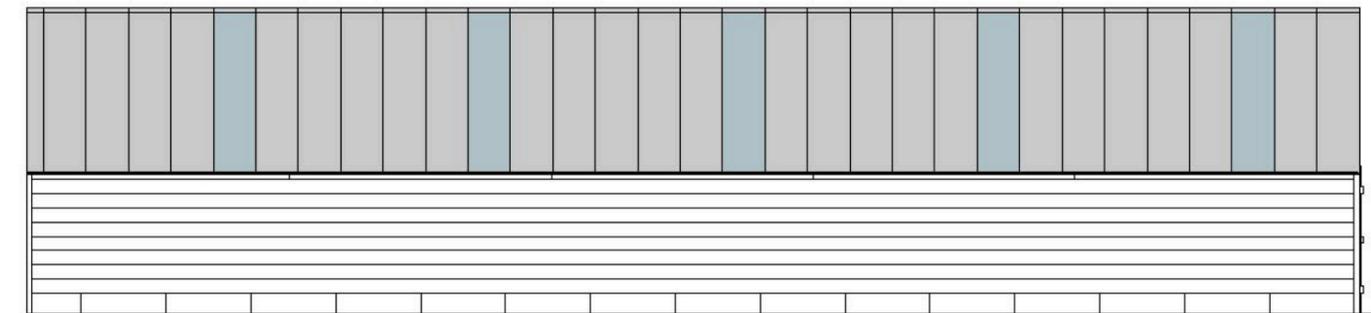
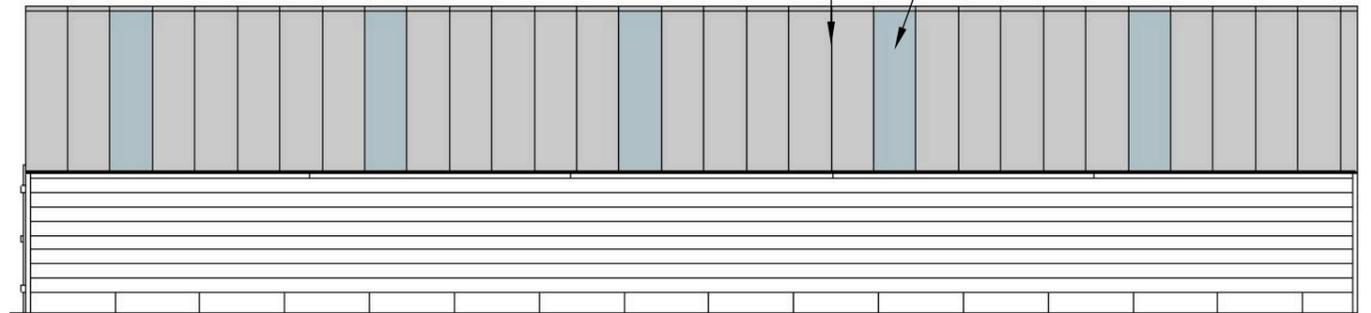
Window: Perspex Sheet

67



Roof Plan

Right Elevation

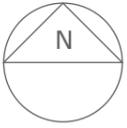


Left Elevation

Loddon Court, Early, Reading
Proposed Plans & Elevations



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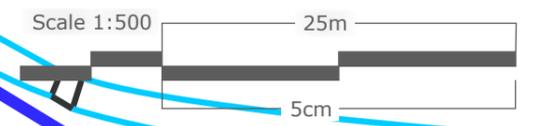
69

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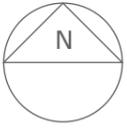
Residential Curtilage
not part of application

Loddon Court, Early, Reading

Block Plan



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Mixed equestrian/Agricultural Land

Residential Access

Residential Curtilage
not part of application

Lozem

Mixed equestrian/agricultural land

Stable Access

Lambs Lane

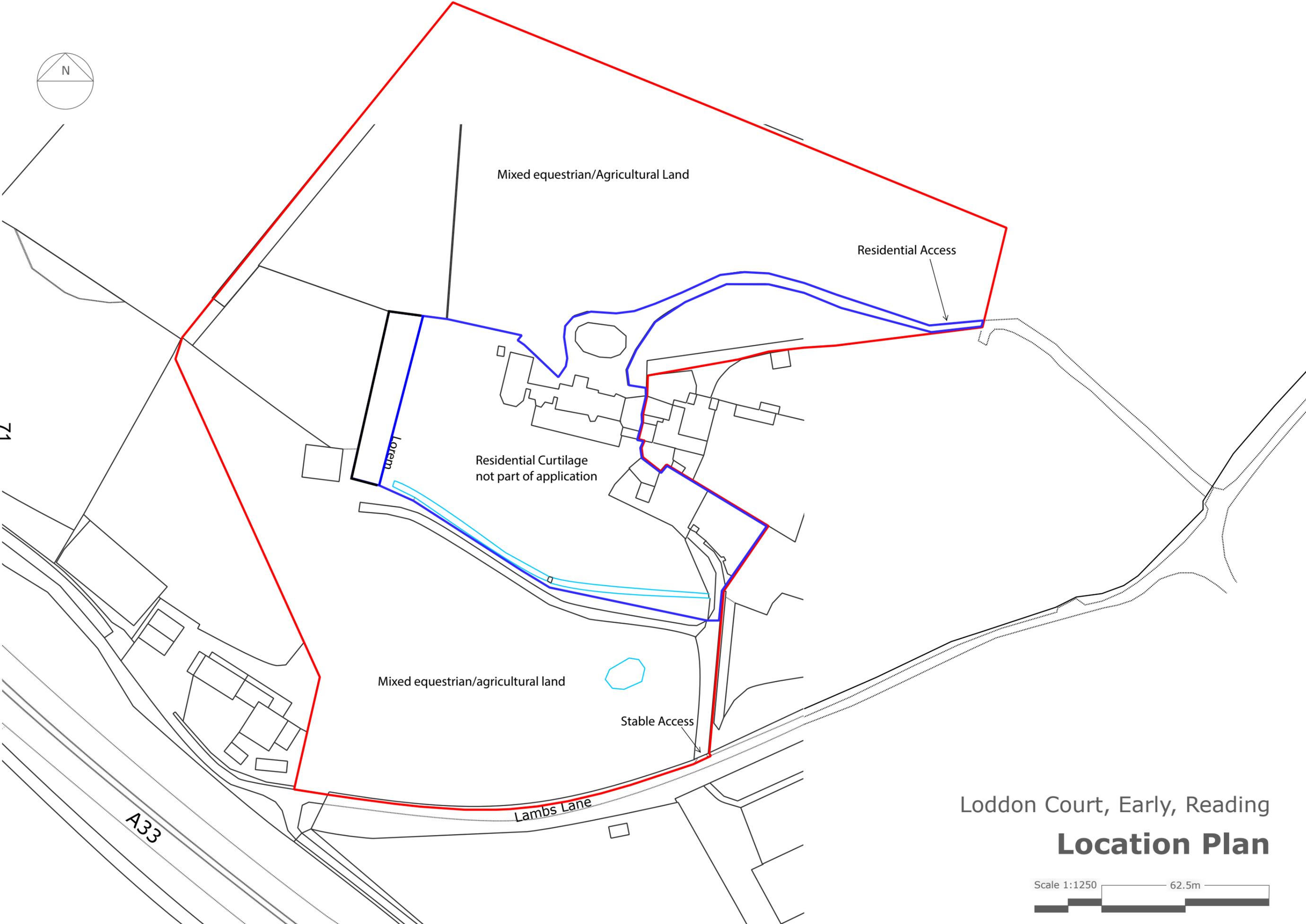
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Loddon Court, Early, Reading

Location Plan



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PLANNING REF : 203534
PROPERTY ADDRESS : Parish Office
: Swallowfield Street, Swallowfield, Reading
: RG7 1QX
SUBMITTED BY : Swallowfield Parish Council
DATE SUBMITTED : 27/01/2021

COMMENTS:

Swallowfield Parish Council has no objection to this application but asks that a condition is set to ensure that the stables are not used as commercial livery without a further planning application.

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Agenda Item 65.

Application Number	Expiry Date	Parish	Ward
203514	12/03/21	Earley	Bulmershe and Whitegates;

Applicant	Mr J Singh
Site Address	34 Hilltop Road, Earley, Berkshire, RG6 1DA
Proposal	Full planning application for the proposed conversion of bungalow to form two self-contained dwellings comprising 1 x 3 bed apartment at ground floor and 1 x 1 bed apartment at first floor. (Following recent construction of extensions permitted by application 191411) and installation of four roof lights (part retrospective).
Type	Full
Officer	Natalie Jarman
Reason for determination by committee	Listed by Councillor Boyt

FOR CONSIDERATION BY	Planning Committee on Wednesday, 10 March 2021
REPORT PREPARED BY	Assistant Director – Place

SUMMARY
<p>The dwelling has recently been extended under a planning permission granted in July 2019.</p> <p>This application seeks permission to subdivide the approved extended dwelling into two self-contained dwellings. The application also seeks permission for four roof lights, which have already been installed and are the retrospective element of the proposal.</p> <p>There are no physical changes to the exterior of the building, except for the roof lights, the impact of the proposed development on the character of the area is considered to be minimal.</p> <p>The proposal is considered to provide sufficient external amenity space to serve the proposed dwellings. The roof lights are not considered to result in unacceptable overlooking. Both of the proposed residential units meet National Space Standards.</p> <p>The proposed parking provision is considered to be acceptable. A condition requiring the submission of cycle parking provision is recommended as a condition.</p> <p>The application is being considered at Planning Committee at the request of the Ward Councillor.</p>

PLANNING STATUS
<ul style="list-style-type: none"> • Major Development Location: Earley • Overhead cables • Water Utility Consultation Zones • Contaminated Land Consultation Zone • Bat Roost Habitat Suitability • Landscape Character Assessment Area • SSSI Impact Risk Zones

RECOMMENDATION

That the committee authorise the GRANT OF PLANNING PERMISSION subject to the following:

Conditions and informative:

Conditions:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: In pursuance of s.91 of the Town and Country Planning Act 1990 (as amended by s.51 of the Planning and Compulsory Purchase Act 2004).

2. This permission is in respect of the submitted application plans and drawings numbered Design and Access Statement, Site Plan (HTR:600), Site Location and Block Plan (HTR:601), Pre Existing Floor Plans (HTR:603), Pre Existing Elevations (HTR:604), As Built and As Proposed Floor Plans (HTR:605) received by the local planning authority on 15th December 2020 and As Built and As Proposed Elevations (HTR:606A) received by the local planning authority on 11th January 2021 and Site Plan 1 to show amenity area split (HTR:607) received by the local planning authority on 8th February 2021. The development shall be carried out in accordance with the approved details unless other minor variations are agreed in writing after the date of this permission and before implementation with the Local Planning Authority.

Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.

3. Prior to occupation of the development hereby permitted details of secure and covered bicycle storage / parking facilities for the occupants of the development shall be submitted to and approved in writing by the local planning authority. The cycle storage / parking shall be implemented in accordance with such details as may be approved before occupation of the development hereby permitted, and shall be permanently retained in the approved form for the parking of bicycles and used for no other purpose.

Reason: In order to ensure that secure weather-proof bicycle parking facilities are provided so as to encourage the use of sustainable modes of travel. Relevant policy: NPPF Section 9 (Sustainable Transport) and Core Strategy policies CP1, CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.

4. Prior to occupation of the development hereby permitted the vehicle parking space has been provided in accordance with the approved plans. The vehicle parking

space shall be permanently maintained and remain available for the parking of vehicles at all times.

Reason: To ensure adequate on-site parking provision in the interests of highway safety, convenience and amenity. Relevant policy: Core Strategy policies CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.

5. Prior to occupation of the development hereby approved there shall be submitted to and approved in writing by the local planning authority a scheme of landscaping, which shall specify species, planting sizes, spacing and numbers of trees/shrubs to be planted, and any existing trees or shrubs to be retained.

Planting shall be carried out in accordance with the approved details in the first planting and seeding seasons following the occupation of the building(s).

Any trees or plants which, within a period of 5 years from the date of the planting (or within a period of 5 years of the occupation of the buildings in the case of retained trees and shrubs) die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species or otherwise as approved in writing by the local planning authority.

Reason: To ensure adequate planting in the interests of visual amenity. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03, TB21 and TB06.

6. Prior to occupation of the development hereby permitted results of acoustic testing shall be submitted to and approved in writing by the Local Planning Authority to demonstrate that the noise insulation between the apartments meets the following minimum acoustic insulation requirements:

Airborne sound insulation: 43dB Dn,t,w + Ctr dB

Impact sound insulation: 64dB Dn,t,w + Ctr dB

Reason: To safeguard the residential amenity of future residents from noise. Relevant policy: Core Strategy policy CP3.

Informative:

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received. This planning application has been the subject of positive and proactive discussions with the applicant in terms of:

- Submission of a plan to show the proposed private amenity space

The decision to grant planning permission in accordance with the presumption in favour of sustainable development as set out in the NPPF is considered to be a positive outcome of these discussions.

RELEVANT PLANNING HISTORY		
Application Number	Proposal	Decision
191411	Householder application for the proposed erection of a part single storey part two storey rear extension, demolition of existing two chimneys,	Approved 31/07/19

	plus internal alterations and changes to fenestration.	
183490	Full application for the proposed erection of 1no 3xbedroom dwelling to rear of existing bungalow with associated access and parking.	Refused 04/02/19

SUMMARY INFORMATION	
Site Area	0.06 hectares
Existing units	1
Proposed units	2
Existing density – dwellings/hectare	17
Proposed density - dwellings/hectare	33
Number of affordable units proposed	0
Previous land use	Residential
Existing parking spaces	4
Proposed parking spaces	4

CONSULTATION RESPONSES	
Thames Water	No comments received
WBC Drainage	Recommend approval with no conditions
WBC Environmental Health	See Report
WBC Highways	Recommend approval subject to conditions
WBC Cleaner & Greener (Waste Services)	No comments received

REPRESENTATIONS

Town Council: Earley Town Council: Recommend refusal:

- Proposal fails to enhance the quality of the environment contrary to Policy CP1. (Officer Note: See Character of the Area section below)
- Inappropriate increase in activity to the detriment of other residents, contrary to Policy CP3. (Officer Note: See Character of the Area section below)
- Lack of adequate landscaping to the frontage contrary to Policy CC03 and Borough Design Guide. (Officer Note: Landscaping Condition recommended and see section 12 of Report)
- The parking arrangement is not clearly defined to address the parking demand for each dwelling, with up to 3 spaces required for the 3 bedroom flat and up to 2 spaces required for the 1 bedroom flat, contrary to Policy CC07 and Borough Design Guide. (Officer Note: Parking Condition recommended and see paragraph 26 of Report)

If WBC are minded to approve the following conditions are requested:

1: The proposed roof lights are to be installed with a sill height of at least 1.7m above floor level, and are to be obscured glass, to protect the amenity of neighbouring properties. (Officer Note: See paragraphs 13-15).

2: A landscape scheme for the frontage of the property to ensure an attractive scheme and contribute positively to the local character. (Officer Note: Landscaping Condition recommended and see paragraph 12 of Report)

3: The submission and approval of a parking management plan to ensure adequate unallocated and visitor parking is available to each dwelling at all times. (Officer Note: See paragraph 26)

Local Members: Councillor Boyt: If minded to approve, application to be heard at Planning Committee due to inadequate parking. The layout as proposed could not be implemented as there is no dropped kerb. Absence of soft landscaping results in the proposal being contrary to policy. (Officer Note: Dropped kerb has been installed. A landscaping condition is recommended).

Neighbours: Three comments received

- Alleged previous use as House in Multiple Occupation (HMO) and others in street causing parking issues and antisocial behaviour (Officer Note: This is not considered to be relevant to the current application).
- The extended bungalow is still very small. (Officer Note: See paragraphs 19-22)
- Planning permission previously refused for two dwellings.
- Not all neighbours consulted and no site notice (Officer Note: Consultation undertaken as per the Statement of Community Involvement).
- Occupation by multiple families would impact on existing limited car parking. (Officer Note: See paragraph 26)
- The site should be limited to one dwelling.
- Impact on privacy from increased occupation and overlooking adjoining property. (Officer Note: See paragraphs 13-15)
- Proposals are profit driven and damaging to residential street.
- Unacceptable increase in number of potential future residents within a small scale building. (Officer Note: See paragraph 19-22)
- Existing car parking issues with potential for traffic accidents. (Officer Note: Not relevant to the current application).
- Area already overdeveloped with 6 new dwellings at 34a Hilltop Road.
- What would site address be given the numbering of existing development
- Flats out of keeping and would spoil character. (Officer Note: See paragraph 8-12)
- Number 30 Hilltop Road was supposed to be divided into two but wasn't. Two families live at that property increasing traffic and parking. (Officer Note: This is not considered relevant to the current application).

Whiteknights Residents Association:

- Impact on increased car ownership in the neighbourhood due to the extra tenants. (See paragraph 26 and condition 4).
- The property previously had a front lawn. Absence of soft landscaping in the front garden to make way for parking needs to be addressed in respect of TB06 of the MDD Local Plan. The absence of all green soft landscaping in the front garden is not in keeping with the character of the area and a landscaping scheme is required to retain soft landscaping. (see Condition 5 and paragraph 12).
- The bungalow has a total of four double bedrooms with a cumulative potential car ownership of 8 vehicles. Four parking bays are therefore inadequate, as surplus vehicles. (See paragraph 26 and condition 4).
- The number of vehicles owned by tenants therefore needs to be limited as a condition of any approval. (See paragraph 26 and condition 4).

APPLICANTS POINTS		
<ul style="list-style-type: none"> • Planning permission granted under 191411 for extensions and assessed in terms of impact on neighbours. • Property already extended with internal works to be completed and layout to be determined according to the outcome of the planning application. • Modern development to the north-west. • Proposed development would provide two dwellings. • Site within acceptable distance of shops and services. • Off street parking proposed. • Conform to Part M Building Regulations. • Shed provide secure storage for cycles. • Plan to show amenity space. • To the front of the dwelling hard landscaping with parking, paths and areas for soft landscaping. • Each dwelling would be allocated two no. car parking spaces. • Not considered to impact on Ecology. • Willing to submit a landscaping scheme. 		
PLANNING POLICY		
National Policy	NPPF	National Planning Policy Framework
	NPPG	National Planning Policy Guidance
Adopted Core Strategy DPD 2010	CP1	Sustainable Development
	CP3	General Principles for Development
	CP5	Housing mix, density and affordability
	CP6	Managing Travel Demand
	CP7	Biodiversity
	CP9	Scale and Location of Development Proposals
Adopted Managing Development Delivery Local Plan 2014	CC01	Presumption in Favour of Sustainable Development
	CC02	Development Limits
	CC03	Green Infrastructure, Trees and Landscaping
	CC04	Sustainable Design and Construction
	CC06	Noise
	CC07	Parking
	CC09	Development and Flood Risk (from all sources)
	CC10	Sustainable Drainage
	TB05	Housing Mix
	TB06	Development of Private Residential Gardens
	TB07	Internal Space standards
	TB21	Landscape Character

	TB23	Biodiversity and Development
Supplementary Planning Documents (SPD)	BDG	Borough Design Guide
		DCLG – Technical housing standards – nationally described space standard

PLANNING ISSUES

Site Description:

1. The application site comprises an older style, bay fronted, detached chalet bungalow with existing front dormer with a detached garage to the rear, sited on a rectangular plot, in an established residential area. The property has four roof lights. There is a dropped kerb at the front of the property.
2. To the north-west of the dwelling are new dwellings in the form of two detached dwellings and two pairs of semi-detached properties. Hilltop Road is mixed in character but largely contains detached chalet bungalows.

Planning History:

3. Planning permission was granted in July 2019 for a part single storey part two storey rear extension, demolition of existing two chimneys, plus internal alterations and changes to fenestration.
4. The property has recently been extended with a part single storey and part two storey rear extension in line with that permission. The supporting Design and Access statement explains that the extensions are complete in turns of envelope of the building, the internal works are yet to be completed.

Description of development:

5. Planning permission is sought to subdivide the existing bungalow into two dwellings, 1 x 3 bed apartment on the ground floor and 1 x 1 bed apartment on the first floor. The proposals also include the introduction of four roof lights, which have already been installed.

Principle of Development:

6. The National Planning Policy Framework has an underlying presumption in favour of sustainable development which is carried through to the local Development Plan. The Managing Development Delivery Local Plan Policy CC01 states that planning applications that accord with the policies in the Development Plan for Wokingham Borough will be approved without delay, unless material considerations indicate otherwise.
7. The site is located within settlement limits and as such the development should be acceptable providing that it complies with the principles stated in the Core Strategy. Policy CP17 requires the delivery of 13,230 new dwellings between 2006 and 2026, with 723 dwellings provided annually in the current phase. The provision of an additional dwelling would contribute towards this target. Notwithstanding this, the most

up-to-date Five Year Housing Land Supply Statement demonstrates the Council has a five year housing land supply. The most up-to-date Five Year Housing Land Supply Statement established that at 31 March 2020, the Council can demonstrate a 5.23 year housing land supply against the Local Housing Need of 789 dwellings plus 5% buffer. Overall, the Development Plan and spatial strategy therein is delivering housing development in excess of the NPPF requirements and the recently published 2019 information continues to show this.

Character of the Area:

8. Policy TB06 states that proposals for new residential development that includes land within the curtilage or former curtilage of private residential gardens would only be granted planning permission where they make a positive contribution to the character of the area including in terms of a layout which integrates with the surrounding area with regard to the built up coverage of each plot, building lines, rhythm of plot frontages, parking areas and existing pattern of openings and boundary treatments on the site frontage.
9. Furthermore, Policy CP3 of the Core Strategy sets out the qualities expected for a new residential development in the Borough. Policy CP3 of the Core Strategy states that planning permission will be granted for proposals that: are of an appropriate scale of activity, mass, layout, built form, height, materials and character to the area.
10. The Borough Design Guide provides greater detail: R1: states that residential development should be designed to contribute positively towards the historic or underlying character and quality of the local area. With R9, setting out new housing should be designed to create street scenes with coherent character that relates well to, or enhances existing street scenes (in terms of scale, rhythm, proportion, height, materials and colour).
11. In this case, the application site is an existing extended bungalow in a residential area. The character of the immediate surrounding area includes the new build infill residential development to the side and rear of the application site. The proposed use of the application dwelling as two dwellings, would intensify the existing residential development and could alter the appearance of the application site in the street scene with the introduction of residential paraphernalia to define the previously approved side access to an independent dwelling and result in residential alterations such as fencing within the front driveway could emphasise the sub-division of the plot. This is not considered to be detrimental to the character of the area as the proposed development would not increase the built form of buildings on the site and would be contained in existing built form, which has already been granted planning permission. There are no physical changes to the exterior of the building, except for the roof lights. The impact of the proposed development on the character of the area is considered to be minimal.
12. Consultation on the application has raised soft landscaping at the front of the dwelling. The arrangement is the same as was granted planning permission in July 2019. A landscaping condition is recommended.

Neighbouring Amenity:

13. *Overlooking:* The first floor rear window of the proposed upper floor dwelling would allow for direct overlooking into both amenity spaces. However, shared external

amenity space is common for flatted development. The proposed arrangement would enable private space to some extent.

14. The proposals include the installation of four roof lights, which have already been installed. Three in the southern elevation facing Oakleigh, which provides an access road to the dwellings at the rear of the application site. The proposed roof lights on the southern elevation are not considered to result in overlooking.
15. The proposed roof light on the north elevation, facing No. 32 Hilltop Road is sited adjacent to the front elevation of No. 32 as the host dwelling is set forward of the neighbouring property. The proposed roof light looks out over the public facing front garden of No. 32 and the side accesses to both No. 30 and No. 32. The proposed roof light is set at 1 metre head height in the ceiling, whilst this is relatively low given the relationship with the adjoining property and existing window arrangement this is not considered to result in unacceptable overlooking. Accordingly, no condition on obscure glazing or non-opening is sought as requested by the Town Council, as this is considered to be unnecessary. The proposed roof light serves the proposed living room, which is also served by the front dormer.
16. *Loss of Light:* The proposal is not considered to result in loss of light as there is no additional built form proposed.
17. *Overbearing:* The proposal is not considered to be overbearing as the proposals does not involve additional built form.
18. The extensions to the dwelling were approved under 191411 whereby its impact on residential amenity was not considered to be harmful in terms of overlooking, loss of daylight and sunlight or loss of privacy.
19. *Impact of the proposal upon the prospective residential occupiers:* Policy TB07 of the MDD only has a minimum gross internal area for a 1 bedroom flat and this is 50 square metres and 87 square metres for a 3 bedroom house. R17 of the Borough Design Guide states that all dwellings must provide adequate internal space in appropriate layout to accommodate a range of lifestyles. Living areas and bedrooms should be large enough to accommodate a range of private and communal activities.
20. Technical Housing Standards – nationally described space standards set out that a one bedroom two bed space single storey dwelling should have a minimum gross internal floor area of 50 square metres. The space standard for a three bedroom, 6 person dwelling on a single storey is 95 square metres.
21. The technical requirements of the National Space Standards set out that any other area that is used solely for storage and has a headroom of 900-1500mm (such as under eaves) is counted as 50% of its floor area, and any area lower than 900mm is not counted at all. The proposed first floor plans state 55 m² but the useable space is 50.5. The ground floor provides 104 square metres of floor space. Both of the proposed residential units meet National Space Standards.
22. TB07 also has minimum combined floor area for kitchen, dining and kitchen space of 23 square metres for 2 person occupancy and 31 for 6 person occupancy. The kitchen / living room for the proposed 3 bedroom dwelling on the ground floor is approximately 33 square metres, there is a dining room in addition. The proposed one bedroom

dwelling on the first floor has a combined living room and kitchen floor space (measured at 1.5 metres head height) of 23 square metres.

23. *External Amenity Space:* The Borough Design Guide SPD states that all dwelling should have access to some form of amenity space, preferably in the form of private or communal space. In some cases upper floor flats don't have access to gardens so private outdoor space is provided in the form of balconies etc. In this case, both of the proposed dwellings are proposed to have garden space. The amenity space should provide some degree of privacy, benefit from sunlight where possible and protect the privacy of existing residents. There should be space for space for 2 to 4 chairs and a small table. The existing garden is approximately 17.9 metres deep. The proposal is to sub-divide diagonally with the space closest to the dwelling allocated to the ground floor space allowing direct access. The proposed garden space for the ground floor 3 bedroom unit would be approximately 110 squares metres. The proposed external amenity space to serve the proposed first floor would be located at the western end. The access to the space would be adjacent to the garage which is shown to be retained. The proposed space to serve the proposed 1 bedroom first floor is approximately 160 square metres. The proposed space is considered to provide adequate external amenity space for each of the proposed units.
24. Consultation responses have raised concern over a House in Multiple Occupation (HMO). The applicant has not applied for a material change use to a HMO and as such the proposal has not been assessed on that basis. The proposed two flats would be C3 dwellings.
25. *Waste Storage:* Policy CC04 of the MDD Local Plan requires adequate internal and external storage for the segregation of waste and recycling as well as provision for green waste and composting and an appropriate area for ease of collection: Both of the proposed apartments would have private amenity space where refuse and recycling could be stored.

Highway Access and Parking Provision

26. The proposal will result in conversion of the existing dwelling into two flats; 1 x 5-habitable room and 1 x 2-habitable room. The site is in an urban location. The parking standard for the proposed development is 2.2 parking spaces. Based on 2 allocated parking spaces per unit there is a recommendation for 0.1 of an unallocated parking space to be provided. This is not considered to be an issue so 4 spaces as indicated on the site plan would comply with the Councils standards. The proposal is for four off street parking spaces, these would be served by an existing dropped kerb. 2 no. spaces would be available to each of the proposed apartments. The proposed parking is considered acceptable in this instance to serve both flats. It is not considered necessary for a parking management plan to be submitted as sought by the Town Council. The proposed parking arrangement is considered to be sufficient. It is understood that prior to the 2019 planning permission for extensions there was an existing access, dropped and driveway parking for four cars. It is proposed that the existing garage would be offered as storage to the ground floor unit.
27. Secure and covered cycle storage is required for each of the flats. This shall be in an accessible location with footpath access identified. The size of the cycle store(s) shall be suitable for a minimum of 2 cycles for the 5-habitable room flat and 1 cycle for the

2-habitable room flat. A condition requiring submission of secure cycle parking is recommended.

Flooding and Drainage:

28. The application site is located in Flood zone 1 according to the Environment Agency mapping with low risk of surface water flooding. Surface water runoff from the development will be managed via soakaway method. The proposed development has been considered by the Council's Drainage Engineer and the proposals are not considered to significantly extend the amount of hardstanding and have no impact for increasing of the surface water run-off from the development and therefore there is no objection in this regard.

Environmental Health:

29. *Noise:* The Council's Environmental Health Officer has raised the potential for impact of noise between the proposed dwellings. The proposed living space on the first floor is above the proposed bedrooms on the ground floor. The proposals would result in separate households living directly above another household. The Environmental Health Officer highlighted the need for the level of acoustic insulation between the floors would need to be upgraded to ensure that excessive noise from day to day activity does not transmit between the floors. A condition is recommended on noise insulation. The Applicant has advised that the separation build up for the floor between the two dwellings has not yet been completed as the planning application is still under consideration. There is scope for the floor to be built up to comply with building regulations and it intended to use an absorbent material between the ceiling and joists above which a floor deck and floating floor would sit.

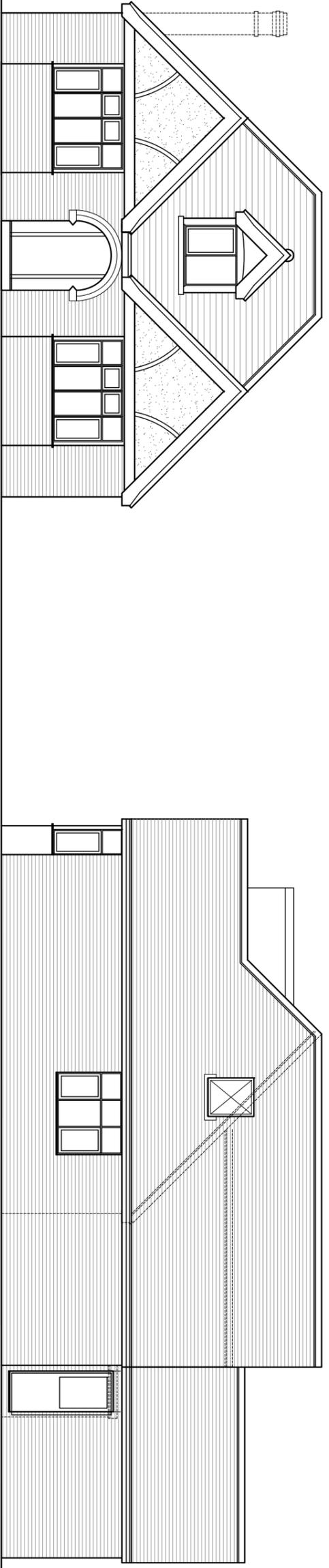
The Public Sector Equality Duty (Equality Act 2010)
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<i>In determining this application the Council is required to have due regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief. There is no indication or evidence (including from consultation on the application) that the protected groups identified by the Act have or will have different needs, experiences, issues and priorities in relation to this particular planning application and there would be no significant adverse impacts upon protected groups as a result of the development.</i>

CONCLUSION

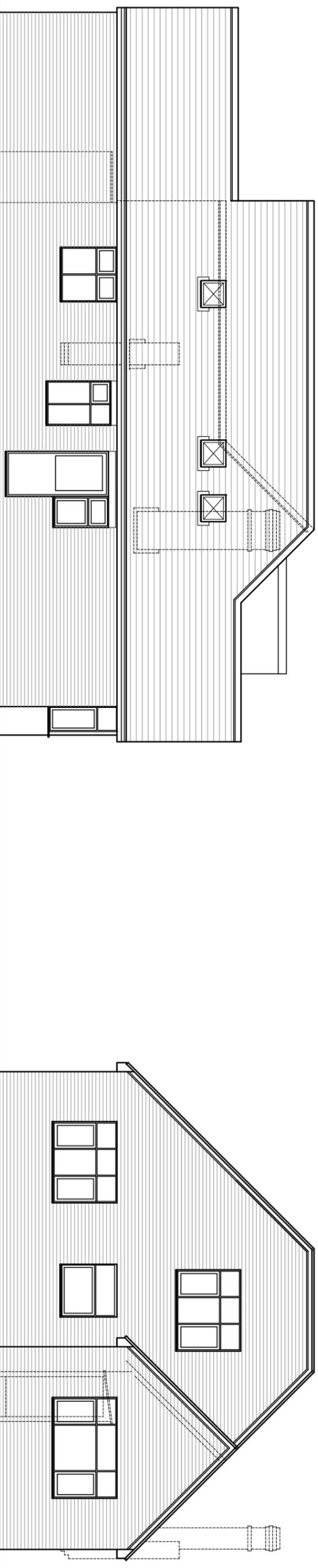
30. The proposal is to convert a single dwelling into two self-contained flats which is considered to be acceptable in principle. The proposal would have a minimal impact on the character of the area. The dwelling has recently been extended under a planning permission granted in July 2019. The only physical change to the building would be the installation of roof lights, which have already been installed. The roof lights are not considered to result in unacceptable overlooking. As such, the proposal is considered to accord with national and local planning policies, and is therefore recommended for approval.

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front

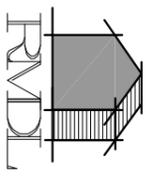
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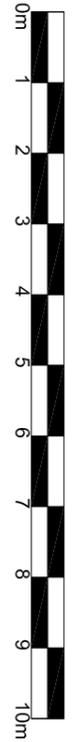
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PROPOSED



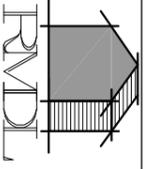
RAMMURTI DESIGN LTD
 ARCHITECTURAL & PLANNING SERVICES
 268 TILFHURST ROAD, READING RG30 2NE
 TEL/FAX: 01189510628 MOB: 077998883574



Proposed split of recently extended bungalow to 2No apartments
 of 3bedroom and 1bedroom
 at 34 Hilltop Road, Reading
 for Mr J Singh

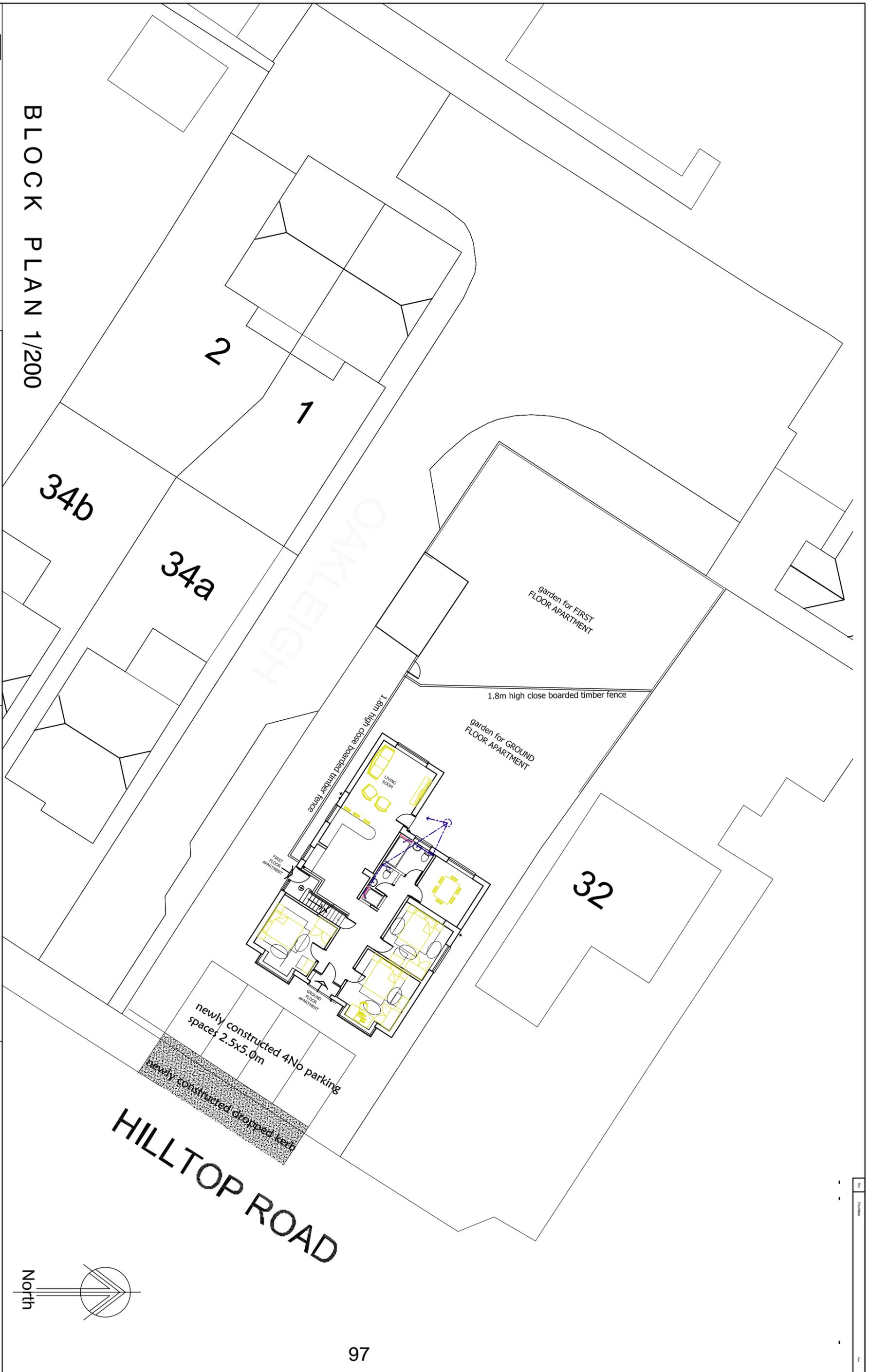
AS BUILT AND AS PROPOSED ELEVATIONS
 Scale: 1/100 @A3 drawing
 Date: December 2020 **HTR:606 Rev A**

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BLOCK PLAN 1/200

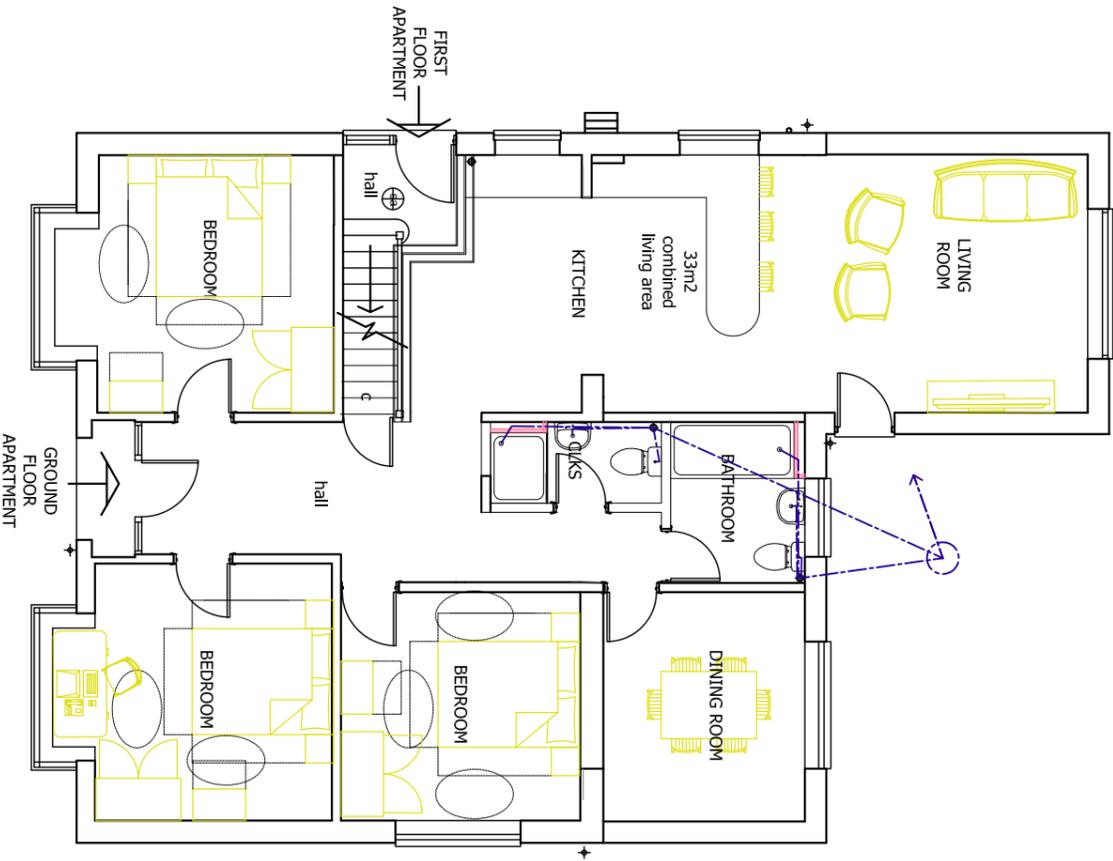


Proposed split of recently extended bungalow to 2No apartments of 3bedroom and 1bedroom at 34 Hilltop Road, Reading for Mr J Singh

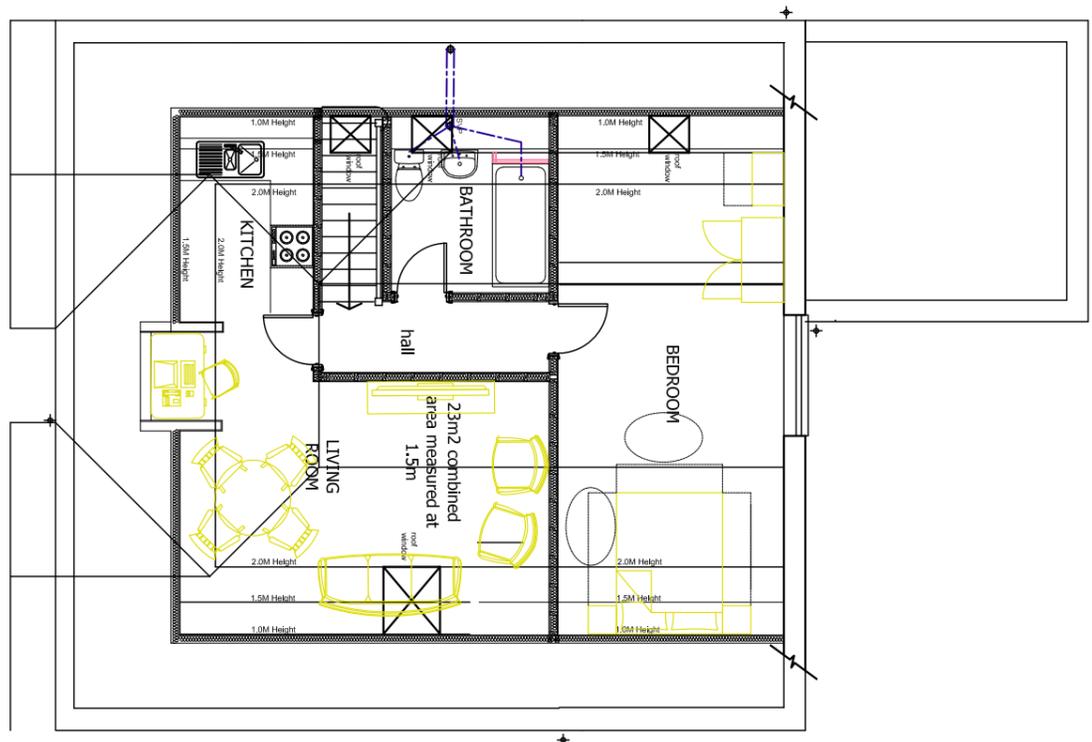
SITE PLAN - 1 to show amenity area split
 Scale: 1/200 @A3 drawing
 Date: February 2021
HTR:607 Rev -

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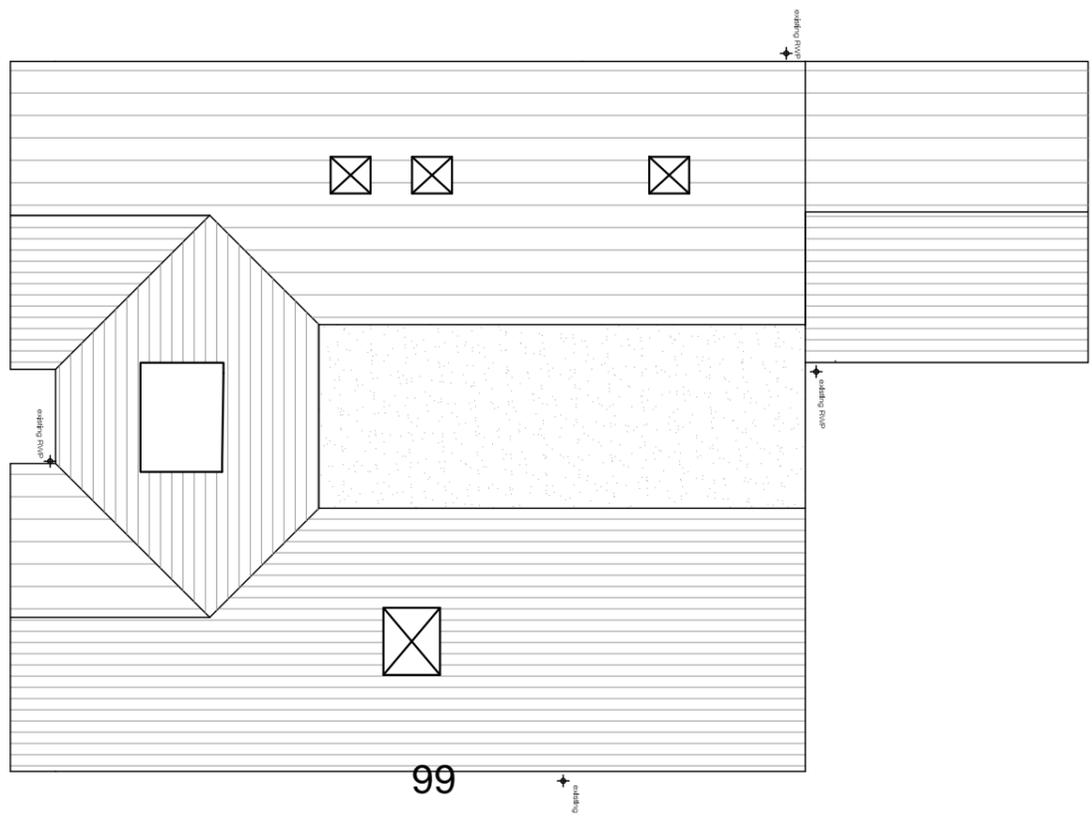
Accommodation schedule
Ground floor Unit (area 104m²) 3bedrooms 2No washrooms
First floor Unit (area 55m²) 1bedroom 1 washroom



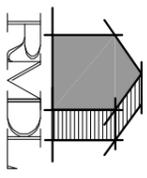
Ground Floor Plan



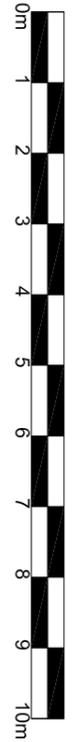
Loft Floor Plan



Roof Plan



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Proposed split of recently extended bungalow to 2No apartments
 of 3bedroom and 1bedroom
 at 34 Hilltop Road, Reading
 for Mr J Singh

AS-BUILT AND AS PROPOSED FLOOR PLANS
 Scale: 1/100 @ A3 drawing
 Date: December 2020
HTR:605 Rev -

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34 Hilltop Road, Earley





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PLANNING REF : 203514
PROPERTY ADDRESS : Radstock House
: Radstock Lane, Earley, Wokingham
: RG6 5UL
SUBMITTED BY : Earley Town Council
DATE SUBMITTED : 10/02/2021

COMMENTS:

Recommendation: Refusal due to the proposals failing to enhance the quality of the environment, contrary to Policy CP1; an inappropriate increase in activity to the detriment of other residents, contrary to Policy CP3; lack of adequate landscaping to the frontage contrary to Policy CC03 and Design Policies R6, R12 and R23; and the parking

arrangement is not clearly defined to address the parking demand for each dwelling, with up to 3 spaces required for the 3 bedroom flat and up to 2 spaces required for the 1 bedroom flat, contrary to Policy CC07 and Design Policies P1 and P3

If WBC are minded to approve the following conditions are requested:

1: The proposed rooflights are to be installed with a cill height of at least 1.7m above floor level, and are to be obscured glass, to protect the amenity of neighbouring properties, Policy CP3 and Design Policy R23.

2: A landscape scheme for the frontage of the property shall be submitted to and approved by WBC to ensure an attractive scheme and contribute positively to the local character. Policies CP1 and CC03 and Design Policies R6, R12 and R23.

3: The submission and approval of a parking management plan to ensure adequate unallocated and visitor parking is available to each dwelling at all times.

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Agenda Item 66.

Application Number	Expiry Date	Parish	Ward
210022	9 th March	Woodley	South Lake;

Applicant	Amandeep Garcha
Site Address	33 Cottesmore Road, Woodley, Wokingham, RG5 3NX
Proposal	Householder application for the proposed erection of a first floor side extension and part two storey part single storey rear extension, plus conversion of the garage to habitable accommodation and changes to fenestration.
Type	Householder
Officer	Kieran Neumann
Reason for determination by committee	Listed by Councillor Blumenthal

FOR CONSIDERATION BY	Planning Committee on Wednesday, 10 March 2021
REPORT PREPARED BY	Assistant Director – Place

SUMMARY
<p>This planning application is before the planning committee as requested by Councillor Blumenthal.</p> <p>The application site consists of a moderately sized three-bedroom, two storey dwelling located on Cottesmore Road, Woodley.</p> <p>This application seeks consent for the proposed erection of a first-floor side extension and part two storey part single storey rear extension, plus conversion of the garage to habitable accommodation and changes to fenestration.</p> <p>It is noted that revised plans were received in relation to these proposals on the 9th March in order to mitigate the previously raised loss of light and overbearing concerns. The revised plans reduced the width of the side/rear extension and set it back from the front-facing building line.</p> <p>The amended scheme is thought to be clearly more subservient to the host dwelling and character of the area, whilst having a much more acceptable impact on the neighbouring amenities of the adjacent neighbours. Parking provision is in line with the Local Authority's parking standards and whilst the garden depth falls just short of the recommended guidelines, the width of the garden acts as a sufficient compromise and the rear amenity space is therefore deemed acceptable to serve the residents of the dwelling. Paragraphs 1-27 provide further details to these material considerations, and subject to conditions 1-7 the application is recommended for approval.</p>

PLANNING STATUS
<ul style="list-style-type: none"> • Major development location • Tree Preservation Orders

RECOMMENDATION:

That the committee authorise the GRANT OF PLANNING PERMISSION subject to the following:

Conditions and informatives:

1. Timescale - The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: In pursuance of s.91 of the Town and Country Planning Act 1990 (as amended by s.51 of the Planning and Compulsory Purchase Act 2004).

2. Approved details - This permission is in respect of the submitted application plans and drawings numbered TPP20200420-03 Rev B & TPP20200420-04 Rev A received by the local planning authority on 09/02/2021. The development shall be carried out in accordance with the approved details unless other minor variations are agreed in writing after the date of this permission and before implementation with the Local Planning Authority.

Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.

3. External materials - The materials to be used in the construction of the external surfaces of the extension hereby permitted shall be of a similar appearance to those used in the existing building unless other minor variations are agreed in writing after the date of this permission and before implementation with the Local Planning Authority.

Reason: To ensure that the external appearance of the building is satisfactory. Relevant policy: Core Strategy policies CP1 and CP3.

4. Restriction of permitted development rights - Notwithstanding the provisions of the Town and Country Planning, (General Permitted Development) (England) Order 2015 (or any Order revoking and re-enacting that Order with or without modification), no additional windows or similar openings shall be constructed in the first floor level or above in the eastern and western elevations of the two storey rear extension hereby permitted except for any which may be shown on the approved drawing(s).

Reason: To safeguard the residential amenities of neighbouring properties. Relevant policy: Core Strategy policy CP3.

5. Parking to be provided - No part of any building(s) hereby permitted shall be occupied or used until the vehicle parking space has been provided in accordance with the approved plans. The vehicle parking space shall be permanently maintained and remain available for the parking of vehicles at all times.

Reason: To ensure adequate on-site parking provision in the interests of highway safety, convenience and amenity. Relevant policy: Core Strategy policies CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.

6. Access surfacing - No building shall be occupied until the vehicular access has been surfaced with a permeable and bonded material across the entire width of the access for a distance of 5 metres measured from the carriageway edge.

Reason: To avoid spillage of loose material onto the highway, in the interests of road safety. Relevant policy: Core Strategy policy CP6.

7. Access to be widened - The development shall not be occupied until the vehicular access from the highway has been increased to a width of circa 7.5 metres (this work will need separate authorisation by the Borough's highway section – see informative below).
Reason: To allow vehicular access to off-street parking spaces without causing damage to the footway and kerb, and to avoid undue delay in vehicles leaving the highway in the interests of highway safety and convenience. Relevant policy: Core Strategy policies CP3 & CP6.

Informatives

1. The Head of Highways at the Council Offices, Shute End, Wokingham [0118 9746000] should be contacted for the approval of the access construction details before any work is carried out within the highway (including verges and footways). This planning permission does NOT authorise the construction of such an access or works.

2. The trees in the rear garden will not conflict with the development proposals and it is important to ensure that no effects to do with the build are left beneath the canopy of the trees. The area should be protected by informal fencing as appropriate.

3. Whilst it would appear from the application that the proposed development is to be entirely within the curtilage of the application site, the granting of planning permission does not authorise you to gain access or carry out any works on, over or under your neighbour's land or property without first obtaining their consent, and does not obviate the need for compliance with the requirements of the Party Wall etc. Act 1996.

4. The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received. This planning application has been the subject of positive and proactive discussions with the applicant in terms of:

- amended plans being submitted by the applicant to overcome concerns relating to overbearing and loss of light.

The decision to grant planning permission in accordance with the presumption in favour of sustainable development as set out in the NPPF is considered to be a positive outcome of these discussions.

PLANNING HISTORY

No relevant planning history for the site.

SUMMARY INFORMATION

For Residential

Site Area – 204.49m²
 Existing parking spaces – 2
 Proposed parking spaces – 3

CONSULTATION RESPONSES

WBC Highways	Recommend conditional approval
WBC Tree & Landscape	No objections but request an informative to be added

REPRESENTATIONS

Town/Parish Council:

Object on the following grounds:

- Insufficient parking
- Out of character
- Terracing effect
- Overdevelopment of the site

Local Members:

Cllr Blumenthal listed the following concerns regarding the proposals:

- Insufficient parking
- Out of character
- Loss of light
- Noise

Neighbours:

Four letters of objection on the following grounds:

- Insufficient parking provision
- Loss of light
- Out of character
- Overlooking

APPLICANTS POINTS

- No additional comments made

PLANNING POLICY

National Policy	NPPF	National Planning Policy Framework
Adopted Core Strategy DPD 2010	CP1	Sustainable Development
	CP3	General Principles for Development
	CP4	Infrastructure Requirements
	CP6	Managing Travel Demand
	CP9	Scale and Location of Development Proposals
Adopted Managing Development Delivery Local Plan 2014	CC01	Presumption in Favour of Sustainable Development
	CC02	Development Limits
	CC03	Green Infrastructure, Trees and Landscaping
	CC04	Sustainable Design and Construction
	CC06	Noise

	CC07	Parking
	CC09	Development and Flood Risk (from all sources)
	CC10	Sustainable Drainage
Supplementary Documents (SPD)	Planning	BDG Borough Design Guide – Section 4

PLANNING ISSUES

Site Description:

1. The application site consists of a moderately sized three-bed dwelling located on Cottesmore Road, Woodley.
2. The current is standard for such a residential dwelling, with a large living/dining area, kitchen, utility room and garage on ground floor level. The First floor consists of three bedrooms and a bathroom.
3. The site is located in an established residential area of Woodley, which is covered by an Area TPO 3/1951. There is one tree along the rear garden boundary and this and others in this location are protected by the order.
4. To the north of the site lies multiple dwelling located on Antrim Road, to the east is the adjoining no.35 Cottesmore Road, to the west is the adjoining no.31 Cottesmore Road and to the south is the adjacent side of Cottesmore Road, home to multiple residential dwellings.

Proposal Description:

5. This application seeks consent for the proposed erection of a first-floor side extension and part two storey part single storey rear extension, plus conversion of the garage to habitable accommodation and changes to fenestration.
6. The proposed part two storey part single storey rear extension would protrude from the rear building line by 3 metres, with the single storey section adopting a flat roof and the two-storey section adopting a gable/hipped design.
7. The first floor side extension would match the ridge height of the host dwelling, adopting the same hipped roof design. It would be set back from the building line by 1 metre and set back from the site boundary with no.31 by 1 metre also.
8. The side and rear alterations would involve the introduction of an extended kitchen area and bathroom at ground floor level, whilst the first floor would include an extended bathroom, bedroom and the addition of a fourth bedroom to the rear.
9. The garage would be converted into use as additional living space, with the garage door being replaced by a large ground floor obscured window and matching brickwork.

Principle of Development:

10. The National Planning Policy Framework has an underlying presumption in favour of sustainable development which is carried through to the local Development Plan. The Managing Development Delivery Local Plan (MDD) Policy CC01 states that planning applications that accord with the policies in the Development Plan for Wokingham Borough will be approved without delay, unless material considerations indicate otherwise.
11. Policy CC02 of the MDD sets out the development limits for each settlement as defined on the policies map and therefore replaces the proposals map adopted through the Core Strategy, as per the requirement of policy CP9. Policy CP9 sets out that development proposals located within development limits will be acceptable in principle, having regard to the service provisions associated with the major, modest and limited categories. As the site is within a major/modest/limited development location, the proposal is acceptable in principle.
12. Policy CP3 of the Core Strategy states that development must be appropriate in terms of its scale of activity, mass, layout, built form, height, materials and character to the area in which it is located and must be of high quality design without detriment to the amenities of adjoining land uses and occupiers.
13. The Borough Design Guide states that any alteration and extension to an existing building should be well-designed, respond positively to the original building, contribute positively to the local character and street scene, and relate well to the neighbouring properties. It also recommends that where there is a regular pattern to the built form, with a repeated building type on a consistent building line, then any alteration or extension that is visible from the street should not unbalance the rhythm of the frontage.

Character of the Area:

14. The first floor side extension complies with the Borough Design Guide in that it would be set back from the building line and site boundary shared with no.35 Cottesmore Road. Whilst it may not be set down from the ridge height, its modest width and design means that terracing effects are minimal.
15. Whilst Woodley Town Council, Cllr Blumenthal and multiple neighbours have objected to the proposals on the grounds that the extension would be out of character for the area, the extension is now believed to be significantly more subservient to the host dwelling than the original scheme and would not adversely impact the street scene as to warrant a reason for refusal.
16. The proposed part two storey part single storey rear extension would comply with the Borough Design Guide in that it would protrude 3 metres from the rear building line and the two storey section would be sufficiently set down from the ridge height of the host dwelling. Therefore, it would not adversely impact the character of the area and is deemed acceptable.
17. The additional fenestration present on the converted garage also would not adversely impact the character of the area.

Neighbouring Amenity:

18. Due to the fact the first-floor side and two storey rear extension have now been set back from the site boundary by approximately 1 metre, the overbearing concerns have been reduced and therefore do not warrant a reason for refusal. The single storey rear extension, due to its modest depth and acceptable eaves height, also poses no significant overbearing impact to either adjacent neighbour.
19. Whilst the additional rear fenestration at first floor level reduced the back to flank distance with the neighbour to the north to approximately 21.7 metres and therefore falling just short of the 22 metre requirement. Nonetheless, the overlooking opportunities would not be significantly different and this type of relationship is typical of this residential area. As such, no harmful impact is considered to occur.
20. A neighbour from no.31 Cottesmore Road has also objected on overlooking grounds as a result of first floor windows on the rear extension. These windows would face the rear of the neighbour's garden which is already the case with the existing fenestration. Therefore this objection does not warrant a reason for refusal.
21. Whilst Cllr Blumenthal and multiple neighbours have objected to the proposals on the grounds that the extensions would result in an unacceptable loss of light to the adjacent dwellings, accurate 45-degree lines have been drawn that show the loss of light to no.35 would be acceptable. The loss of light to no.31 would slightly interrupt the light to one rear window, however this window serves the garage which as it is not deemed a primary habitable room, does not warrant a reason for refusal.
22. Cllr Blumenthal has also objected on noise grounds, however the increase in noise from a residential dwelling such as this one would be marginal and does not warrant a reason for refusal in this instance.

Residential Amenity:

23. Woodley Town Council have objected to the proposals on the grounds of overdevelopment. Despite the garden depth being reduced to approximately 9.2 metres which clearly does not comply with the Borough Design Guide, the garden has adequate width to compromise for this lack of depth and therefore the rear garden is still considered marginally sufficient to serve the residents of the dwelling and does not warrant a reason for refusal in this instance.

Access and Movement:

24. Whilst Woodley Town Council, Cllr Blumenthal and multiple neighbours have also objected to the proposals on the grounds of sufficient parking due to the increase in habitable rooms, Highways have concluded that the alternative parking available complies with the Local Authority's parking standards (3 spaces would be provided) and is sufficient to serve the residents of the property and therefore there is no objection in this regard.
25. Neighbours have raised concerns regarding the proposed parking and its practicality given the existing wall; however, Highways are satisfied with the parking and access arrangements, subject to conditions 5, 6 and 7 above.

Landscape and Trees:

26. The site is located in an established residential area of Woodley, which is covered by an Area TPO 3/1951. Landscape and Trees note that there is at least 1 tree along the rear garden boundary and this and others in this location will be protected by the order.
27. There is a hedge to the side boundary with No. 31, however it appears as though this will not conflict with the proposals. Therefore, Landscape and Trees recommended that given the application is approved, the hedge could be protected by resting Heras style fencing or similar against it for the duration of the construction project.

CONCLUSION:

In summary, the amended scheme is thought to be clearly more subservient to the host dwelling and character of the area, whilst having a much more acceptable impact on the neighbouring amenities of the adjacent neighbours. Parking provision is in line with the Local Authority's parking standards and whilst the garden depth falls just short of the recommended guidelines, the width of the garden acts as a sufficient compromise and the rear amenity space is therefore deemed acceptable to serve the residents of the dwelling. Subject to conditions 1-7 outlined above, the application is therefore recommended for approval.

The Public Sector Equality Duty (Equality Act 2010)

In determining this application the Council is required to have due regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief. There is no indication or evidence (including from consultation on the application) that the protected groups identified by the Act have or will have different needs, experiences, issues and priorities in relation to this particular planning application and there would be no significant adverse impacts upon protected groups as a result of the development.

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PLANNING REF : 210022
PROPERTY ADDRESS : The Oakwood Centre
: Headley Road, Woodley, Wokingham
: RG5 4JZ
SUBMITTED BY : Woodley Town Council
DATE SUBMITTED : 24/02/2021

COMMENTS:

The Committee considered the revised plans for this application and recommended that the application be refused on the following grounds:

- Insufficient parking provision.
- Out of character with the street scene.
- Terracing effect.
- Overdevelopment of the site.

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